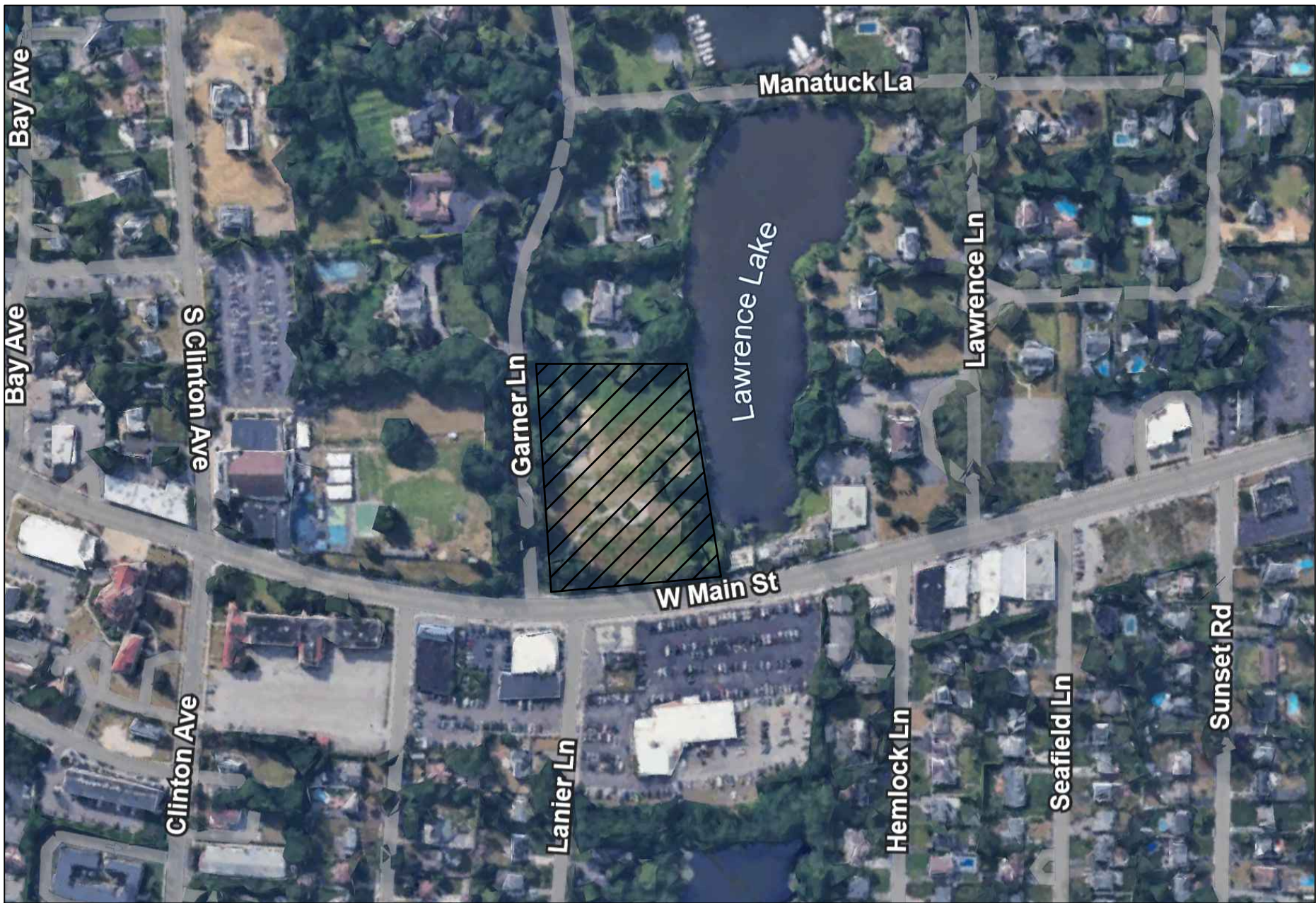
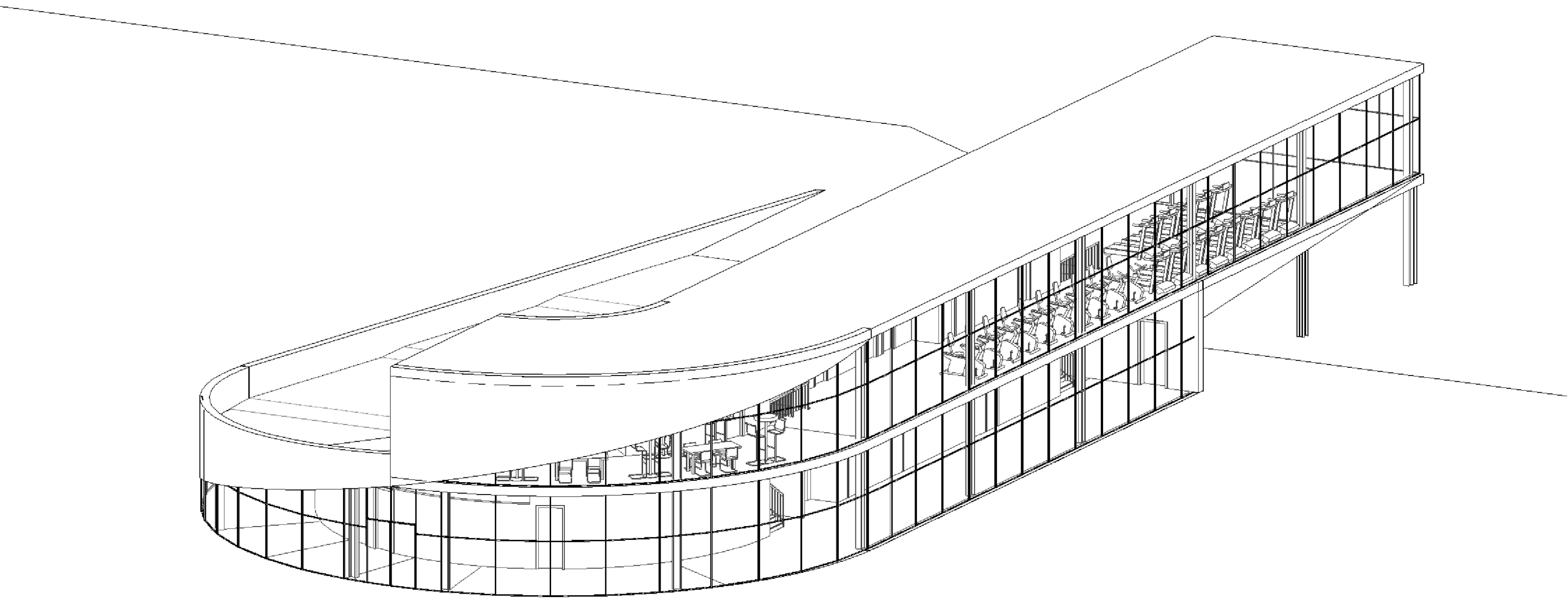


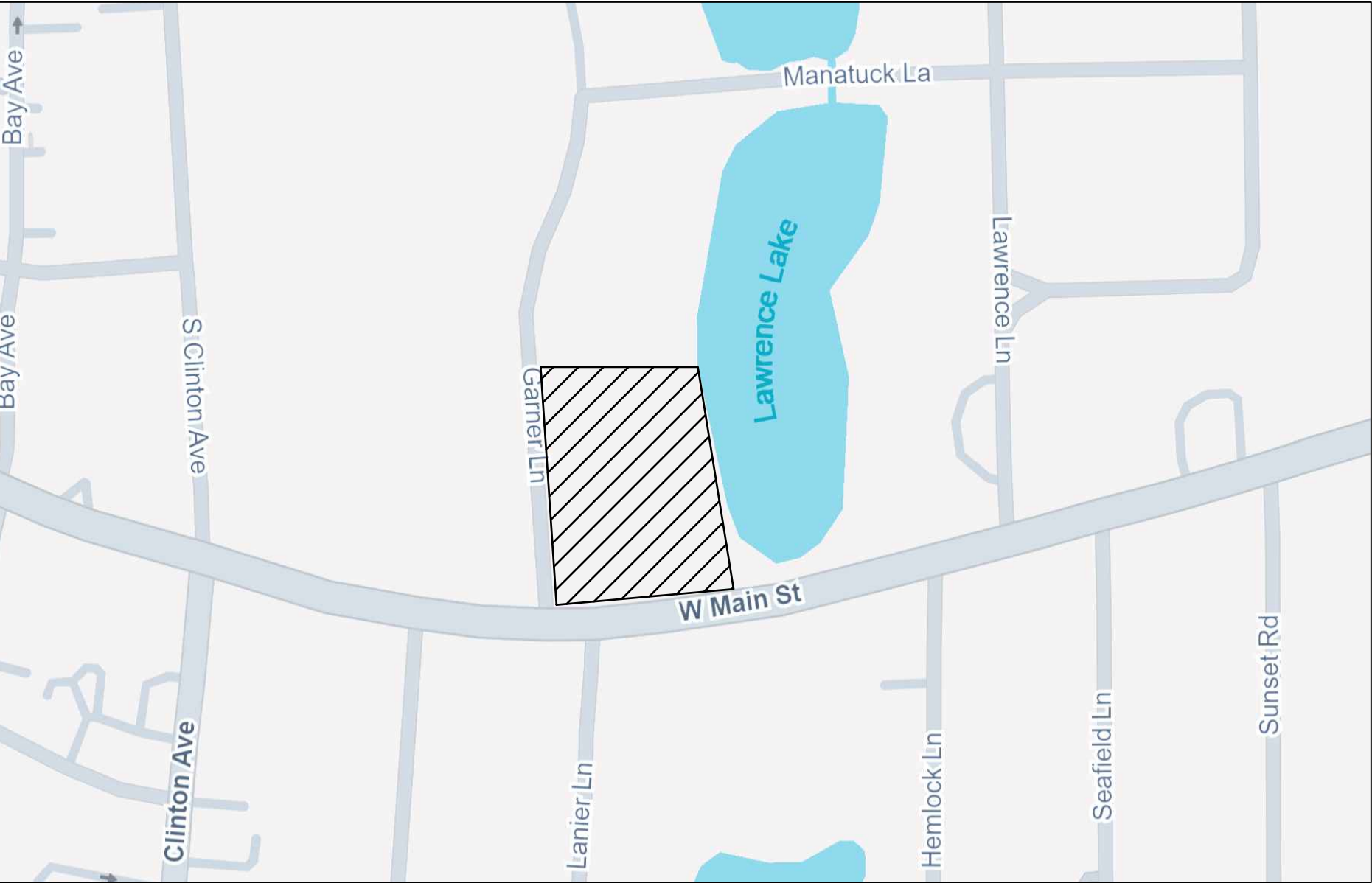
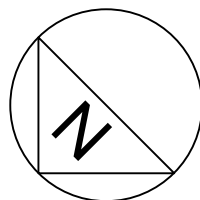
FITNESS CENTER AND CANOE CLUB

LOCATION: 2 GARNER LANE, BAY SHORE, NY

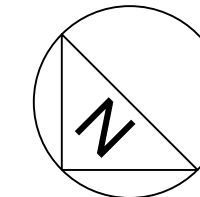
THE TOWN OF ISLIP HAS REQUESTED THAT A NEW SUSTAINABLE AND INNOVATIVE GYM/CANOE CLUB BE DESIGNED FOR ITS RESIDENTS AND THE SURROUNDING AREA. THE STRUCTURE MUST ALSO INCLUDE A CAFE ATTACHED TO A GREEN ROOF AND INCORPORATE A MINIMUM OF THREE SUSTAINABLE FEATURES. LOCATED ON A LAKE IT IS INTEGRAL THAT THE DESIGN EITHER INCORPORATES IT OR IS SITE SPECIFIC. THE PROJECT IS TO FOLLOW THE TOWN OF ISLIP ZONING CODES AND REGULATIONS ALONG WITH THE TYPICAL ADA REQUIREMENTS.



① SITE AERIAL
SCALE: N.T.S.



② LOCATION MAP
SCALE: N.T.S.



DRAWING INDEX	
A-100	COVER SHEET
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FARMINGDALE STATE
COLLEGE DEPARTMENT OF
ARCHITECTURE AND
CONSTRUCTION
MANAGEMENT

PODDO
DESIGNERS

2 GARNER LANE
CONSTRUCTION DOCUMENTS

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

COVER SHEET

A-100

Town of Islip
Geographic Table Design Requirements
For Commercial and Residential Permits
2020 NYS Uniform Code

The Town of Islip is within a hurricane prone region, Climate Zone 4a.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Born Debris Zone		Weathering	Frost Line Depth						Termite
20	130 Vult	no	no	1 Mile from Coast and Fire Island	B	Severe	BOF 3 FT BFG	Mod To Heavy	See Below	Yes	Call the Plans Examiners Office	599	51° F

MANUAL J CRITERIA REQUIRED IN SUBMITTED CALCULATIONS							
ELEVATION	LAT	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMP	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
108 FT	41° N	15° F	86° F	1.00	70° F	75° F	55° F
Cooling Temperature Difference	Wind Velocity Heating		Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity
11° F	15 MPH		7.5 MPH	72° F	Medium (M)	40%	32 GR @50% RH

IBC CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	Speed (mph)	Topographic Effects	Special Wind Region		Weathering	Frost Line Depth	Termite						
20	130 Vult	No	No	1 Mile from Coast and Fire Island	B	Severe	BOF 3 FT BFG	Mod To Heavy	See Below	Yes	Call the Plans Examiners Office	599	51° F

- Winter Design Temp:
- Interior spaces intended for human occupancy shall be provided with an indoor temperature of not less than 68° F at a point 3 feet above the floor on the design heating day
 - System design shall be based on max 72° F heating, minimum 75° F cooling
 - Degree days (NY LaGuardia) 4811, Winter Design Temp 15° F, Dry Bulb 89° F, Wet Bulb 75° F (2020 IPC Appendix D)
 - As per NYSCB 2020 Chapter 16 section 1609 and ASCE 7 2016, wind exposure category and surface roughness is B
 - Use C for both South Shore and Fire Island

Page 1 of 1
Geographic Table Design Requirements for Residential and Commercial 2020 -- 2020-07-01

GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS
- DO NOT SCALE DRAWINGS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION STRINGS SHALL BE OBTAINED FROM THE ARCHITECT.
- DIMENSIONS SHOWN ARE FINISH SURFACE OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS, FRAMING MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION). IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL PAY ALL PERMIT FEES.
- CONTRACTOR SHALL MAINTAIN THE IMMEDIATE CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.
- PROTECTION: CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
- REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY NEW WORK TO ITS ORIGINAL CONDITION
- ALL WORK IS TO COMPLY WITH THE TOWN OF ISLIP 2025 CODES, INCLUDING BUT NOT LIMITED TO, BUILDING, ZONING, AND HEALTH.
- 811 MUST BE CALLED BEFORE ANY EXCAVATION IS TO BEGIN
- THESE PLANS SHALL NOT BE CHANGED UNLESS ARCHITECT AND THE TOWN OF ISLIP IS NOTIFIED
- STRUCTURE AND SURROUNDING AREA IS REQUIRED TO BE DEEMED ENTIRELY ADA ACCESSIBLE
- ALL CONCRETE WORK IS TO MEET AND EXCEED STATE REQUIREMENTS IN STRENGTH AND QUALITY
- ALL STEEL, CONCRETE, WOODEN, ETC... STRUCTURES SHALL BE DEEMED REASONABLE BY A QUALIFIED ENGINEER BEFORE AND AFTER CONSTRUCTION
- ALL DAMAGES TO SURROUNDING AREAS BOTH PUBLIC AND PRIVATE SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR
- PROPER ADA SIGNAGE AND MARKINGS SHALL INDICATE AREAS OF USAGE FOR THOSE IN NEED.
- CONSTRUCTION DEBRIS SHALL BE REMOVED FROM AREA IN A TIMELY AND COST EFFECTIVE MATTER AS DETERMINED BY

- THE TOWN OR HIGHEST LEVEL OF MUNICIPALITY
- ACCESS TOT HE PUBLIC SHALL BE PROHIBITED WITHOUT NOTIFYING THE CORRECT AUTHORITIES
 - SITE SECURITY MUST BE MAINTAINED AND ANY DAMAGES OCCURRED SHALL BE SOLELY COVERED BY CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO, VANDALIZATION, STOLEN MATERIAL, ETC....
 - UTILITY COORDINATION IS SOLE RESPONSIBILITY OF THE CONTRACTOR
 - ALL FEDERAL, STATE, LOCAL, AND ASSOCIATED CODES SHALL BE FOLLOWED ACCORDINGLY AND ANY UNCERTAINTY IN THE DETERMINATION OF THESE CODES SHALL BE DIRECTED TO THE ASSOCIATED GOVERNMENT BRANCH AND ARCHITECT
 - THE ARCHITECT SHALL NOT BE DEEMED LIABLE FOR ANY ISSUES THAT ARISE FROM DRAWINGS NOT FOLLOWED, OR IMPROPER JUDGMENT FROM SELECTED CONTRACTORS
 - ALL DRAWINGS SHOULD BE TAKEN AS LITERAL UNLESS OTHERWISE SPECIFIED BY ARCHITECT
 - CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, AND TEMPORARY SUPPORTS NECESSARY FOR STRUCTURAL STABILITY AND SAFETY
 - ALL MATERIALS SHOULD BE NEW AND OF SPECIFIED QUANTITY UNLESS NOTED OTHERWISE
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL TRADES, INCLUDING STRUCTURAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, CIVIL, ETC...
 - LOCATIONS OF MECHANICAL EQUIPMENT PANELS, AND PIPING SHALL BE COORDINATED TO AVOID CONFLICTS WITH ARCHITECTURAL ELEMENTS
 - CONTRACTORS SHALL COORDINATE ALL PENETRATIONS THROUGH RATED ASSEMBLIES WITH FIRE-STOPPING REQUIREMENTS
 - SHOP DRAWINGS SHOULD BE SUBMITTED FOR ARCHITECTURAL APPROVAL PRIOR TO FABRICATION OR INSTILLATION
 - VERIFY CLEARANCES FOR ALL ACCESSIBLE DOORS, RAMPS, RESTROOMS, TURNING SPACES, AND MOUNTING HEIGHTS
 - WHERE CONFLICTS BETWEEN PLANS AND ADA REQUIREMENTS EXIST, THE STRICTER STANDARD SHALL BE ENFORCED
 - CONTRACTOR SHALL NOT REDUCE WIDTH OF REQUIRED EGRESS PATHS DURING CONSTRUCTION, EXCEPT AS APPROVED BY AUTHORITIES

ZONING DATA

ZONE: BUSINESS 1 DISTRICT

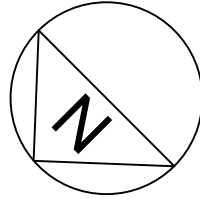
GYM & CAFE: PERMITTED USE

OWNER/ APPLICANT INFO.

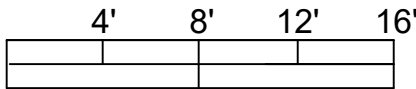
APPLICANT: 2 GARNER LANE, BAYSHORE, NY

OWNER: N.A.

LEGEND



COMPASS



SCALE

OWNER

TOWN OF ISLIP
(631) 224-5300
TOWNCLERK@ISLIP.GOV

CONTRACTOR

UNKNOWN
UNKNOWN
UNKNOWN

ARCHITECT

PHILIP ODDO
(631)-572-2036
ODDOP@FARMINGDALE.EDU



FARMINGDALE STATE
COLLEGE DEPARTMENT OF
ARCHITECTURE AND
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MANAGEMENT

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DESIGNERS

2 GARNER LANE
CONSTRUCTION DOCUMENTS

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

SHEET TITLE

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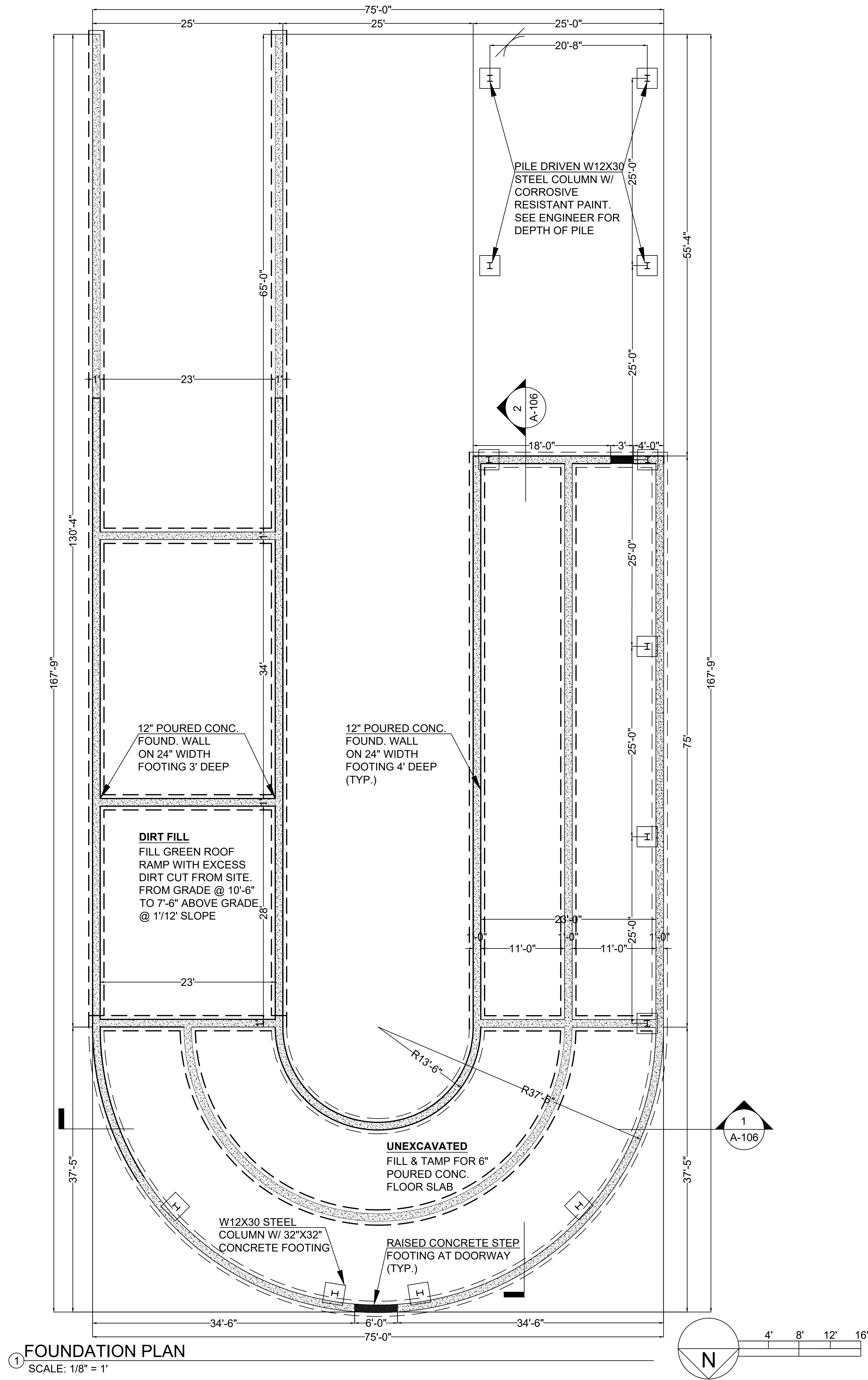
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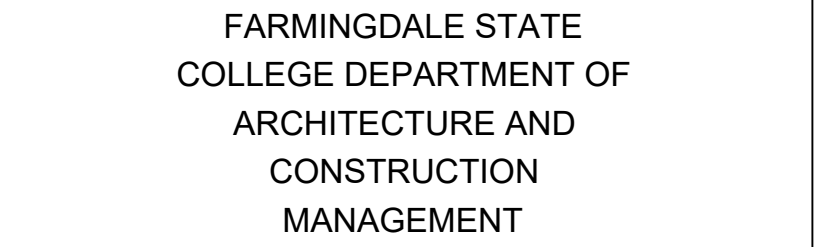
2 GARNER LANE
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DATE: 12/16/25

FOUNDATION PLAN

A-102





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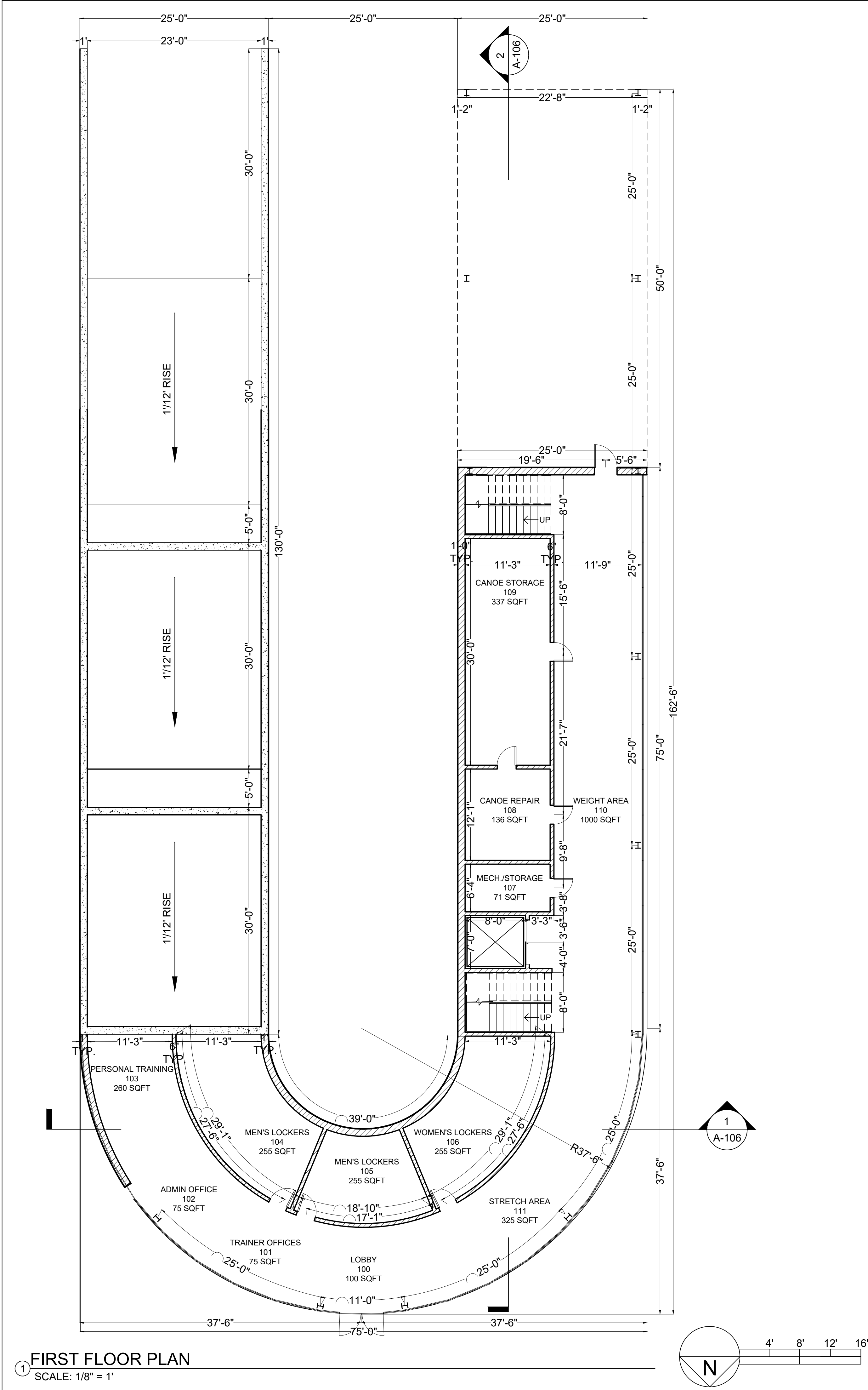
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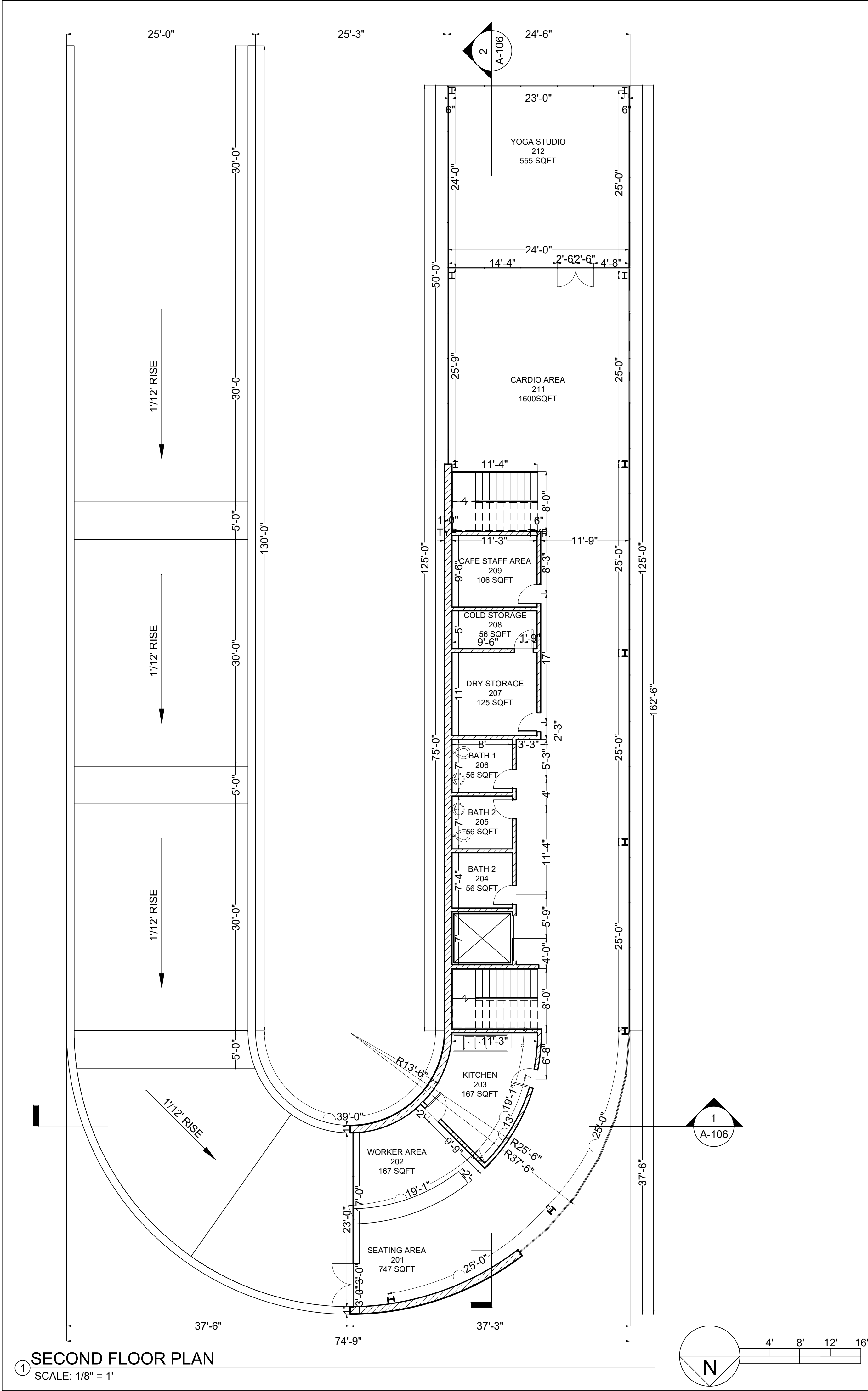
CONSTRUCTION DOCUMENTS

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FIRST FLOOR PLAN

A-103





① SECOND FLOOR PLAN
SCALE: 1/8" = 1'



FARMINGDALE STATE
COLLEGE DEPARTMENT OF
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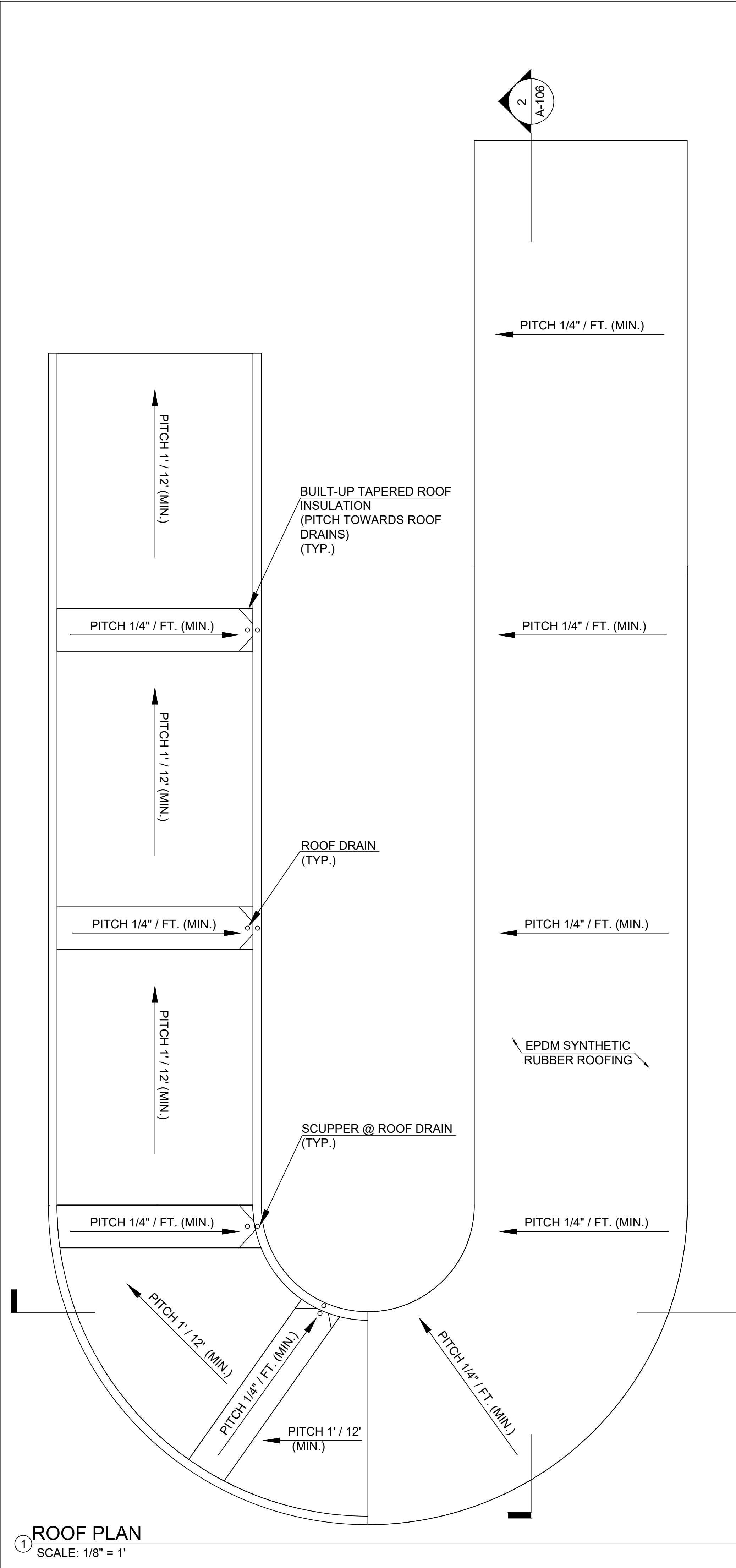
PODDO
DESIGNERS

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NAME: PHILIP ODDO
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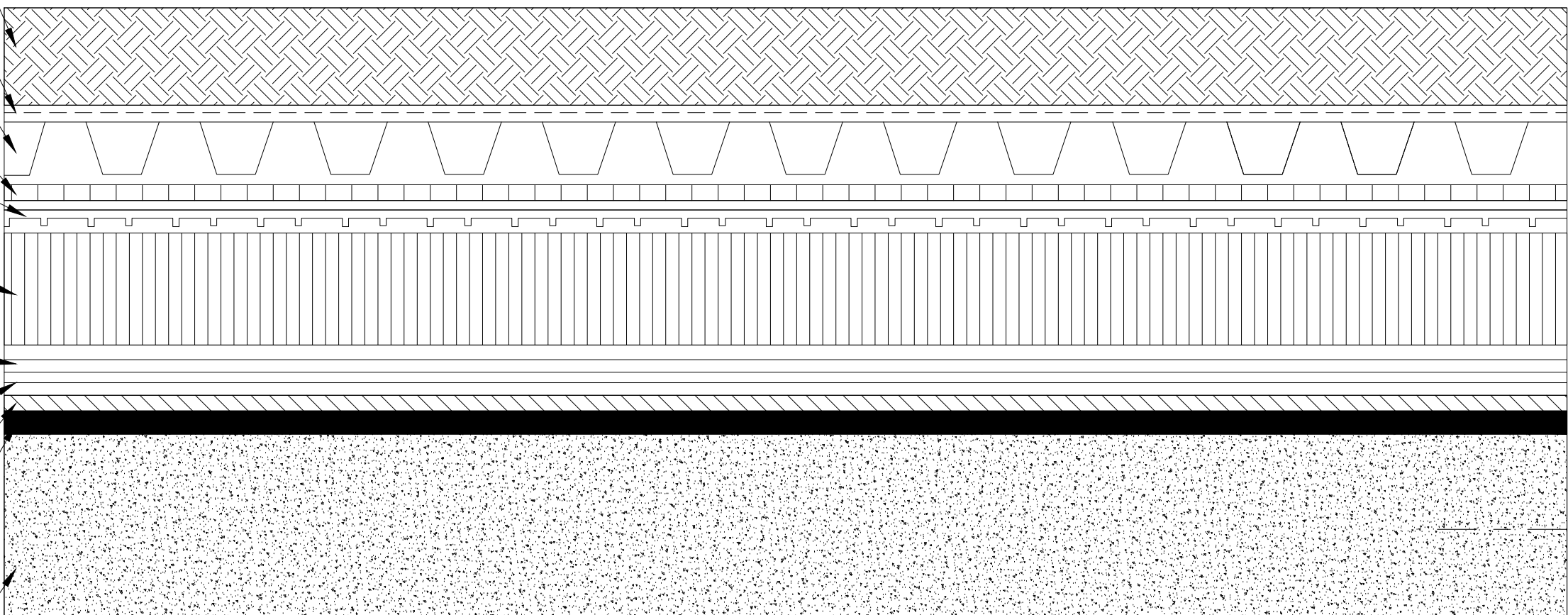
SECOND FLOOR PLAN

A-104

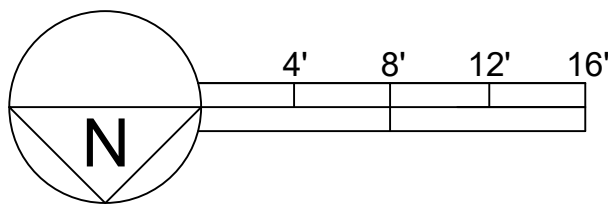


1 ROOF PLAN
SCALE: 1/8" = 1'

- ENGINEERED SOIL W/ PLANTING
- FILTER FABRIC
- OPTIONAL RESERVOIR LAYER
- MOISTURE-RETENTION LAYER
- AERATION LAYER
- THERMAL INSULATION
- DRAINAGE LAYER
- ROOT BARRIER
- MEMBRANE PROTECTION
- GREEN ROOF WATERPROOFING MEMBRANE
- STRUCTURAL SUPPORT



2 TYPICAL GREEN ROOF DETAIL
SCALE: N.T.S.



FARMINGDALE STATE
COLLEGE DEPARTMENT OF
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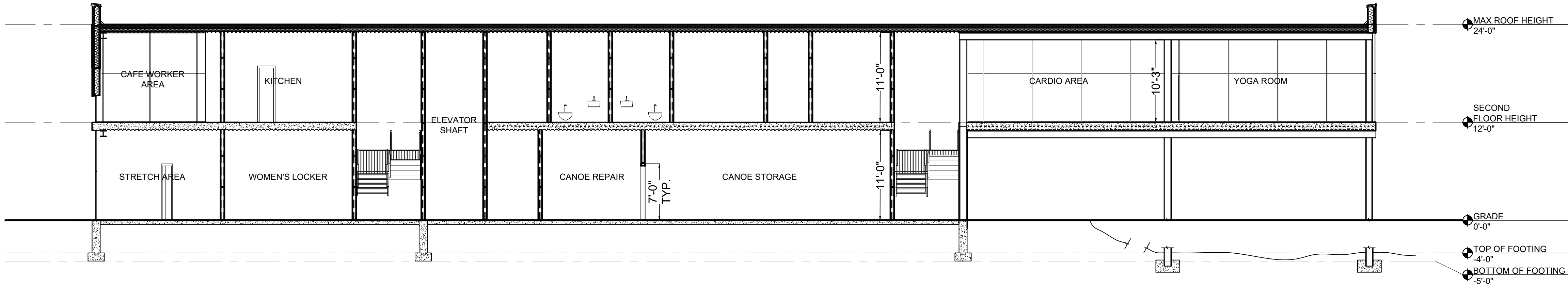
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DESIGNERS

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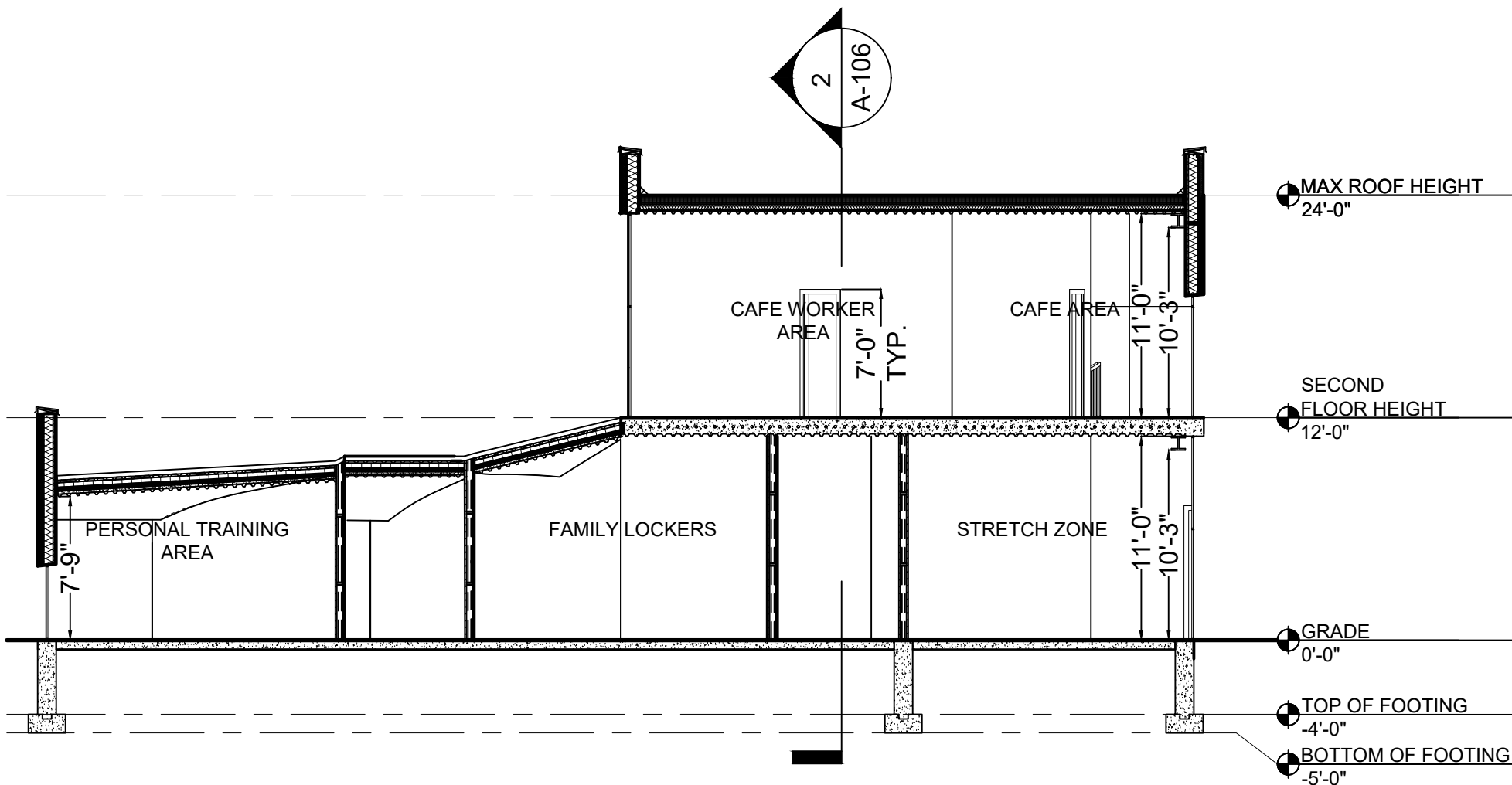
NAME: PHILIP ODDO
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DATE: 12/16/25

ROOF PLAN

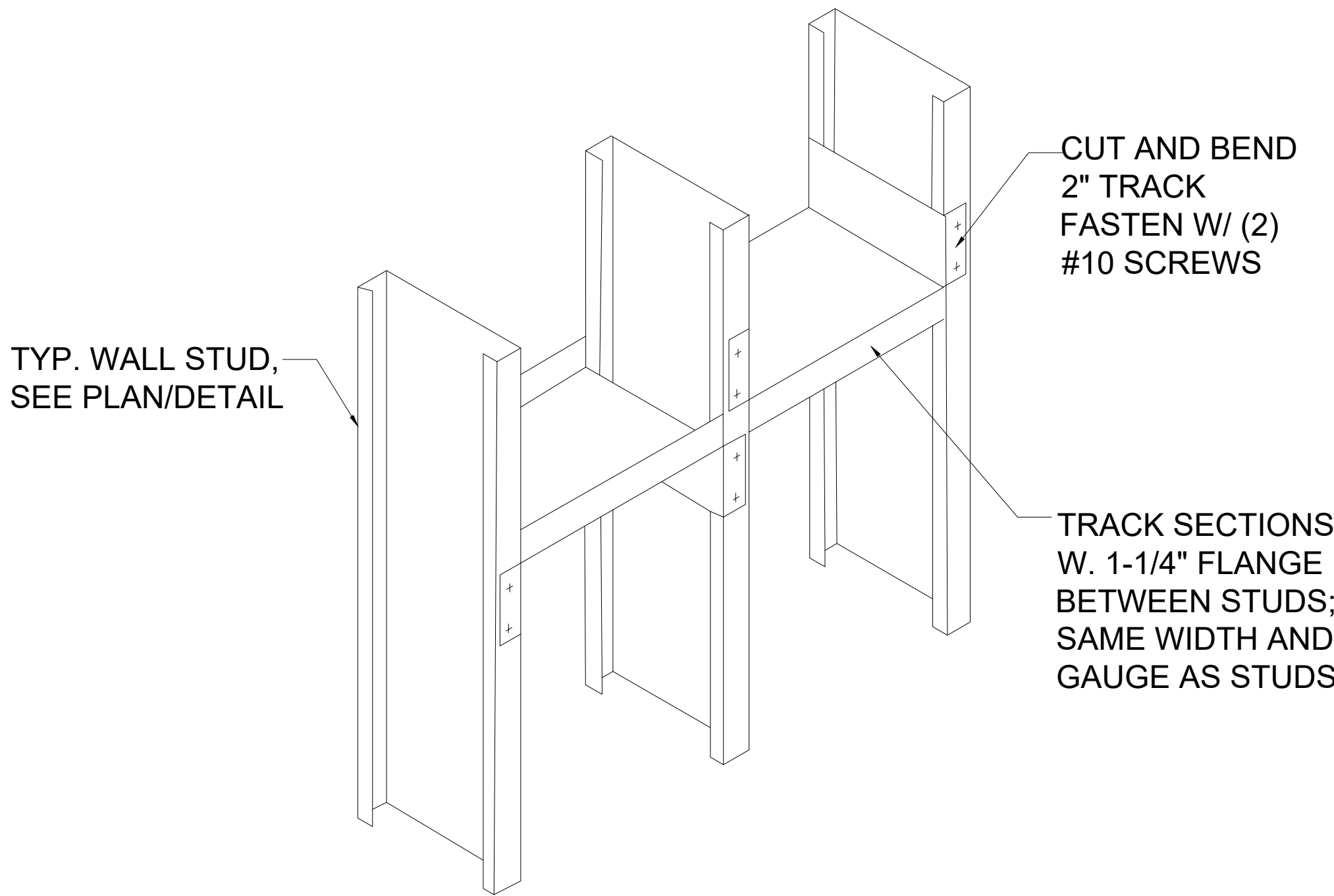
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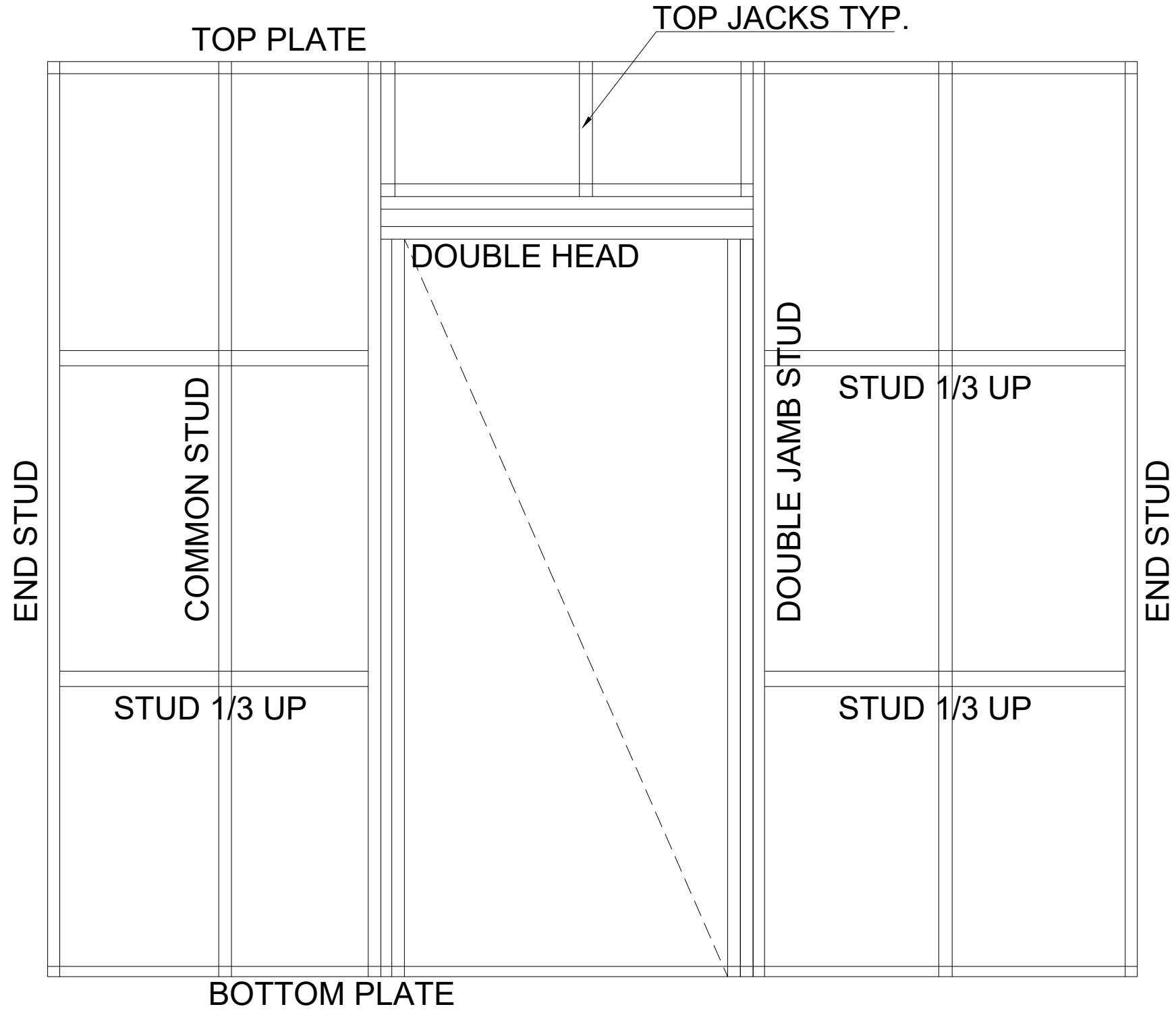
① LONGITUDINAL SECTION
SCALE: 1/8" = 1'



② HORIZONTAL SECTION
SCALE: 1/8" = 1'



③ STEEL STUD FRAMING 1/3 BEAM
SCALE: N.T.S.



④ EXAMPLE INTERIOR STEEL STUD WALL FRAMING
SCALE: N.T.S.



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SECTIONS

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FARMINGDALE STATE
COLLEGE DEPARTMENT OF
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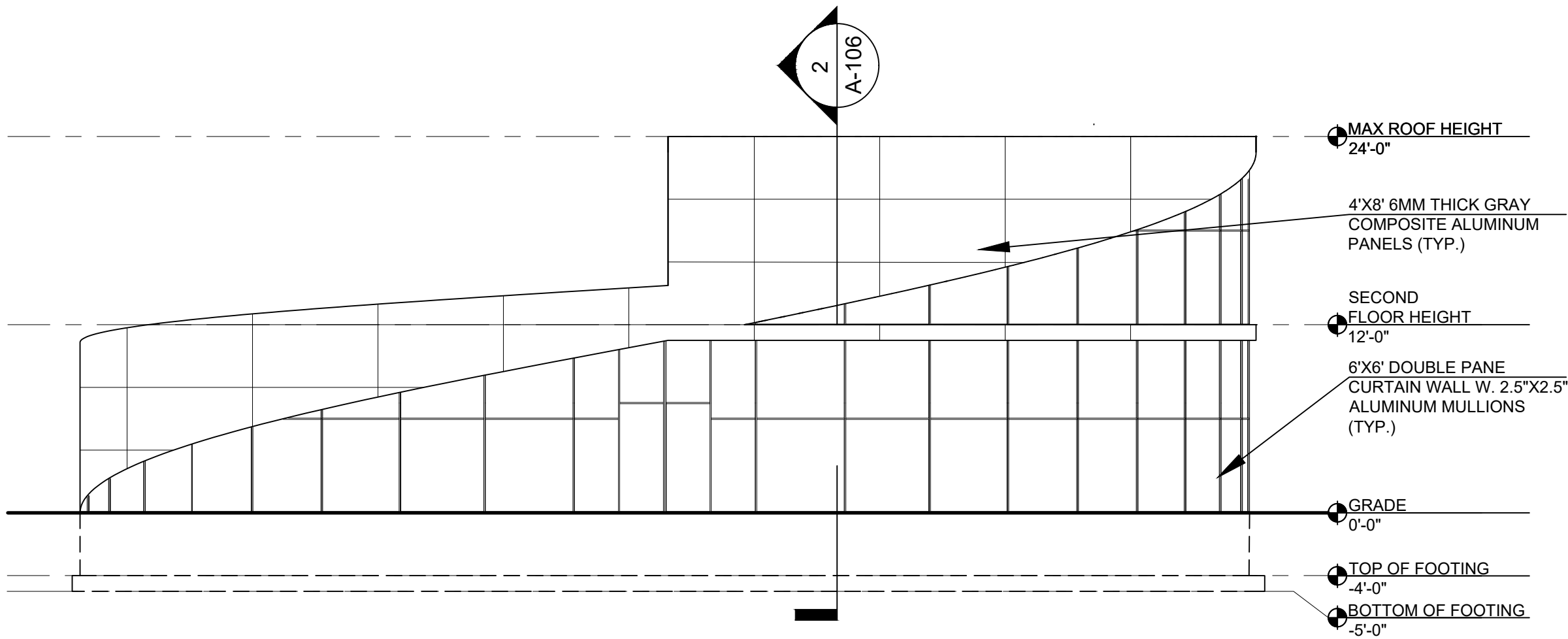
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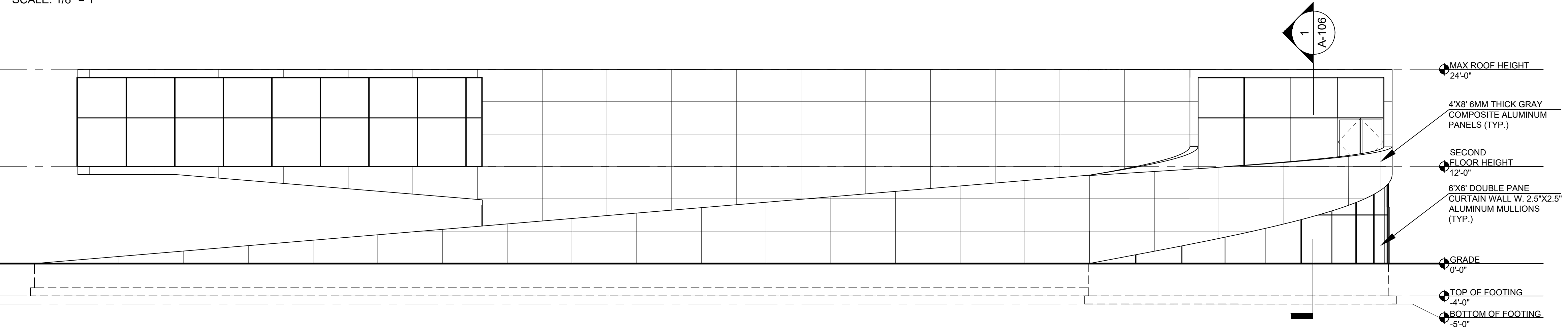
NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

ELEVATIONS

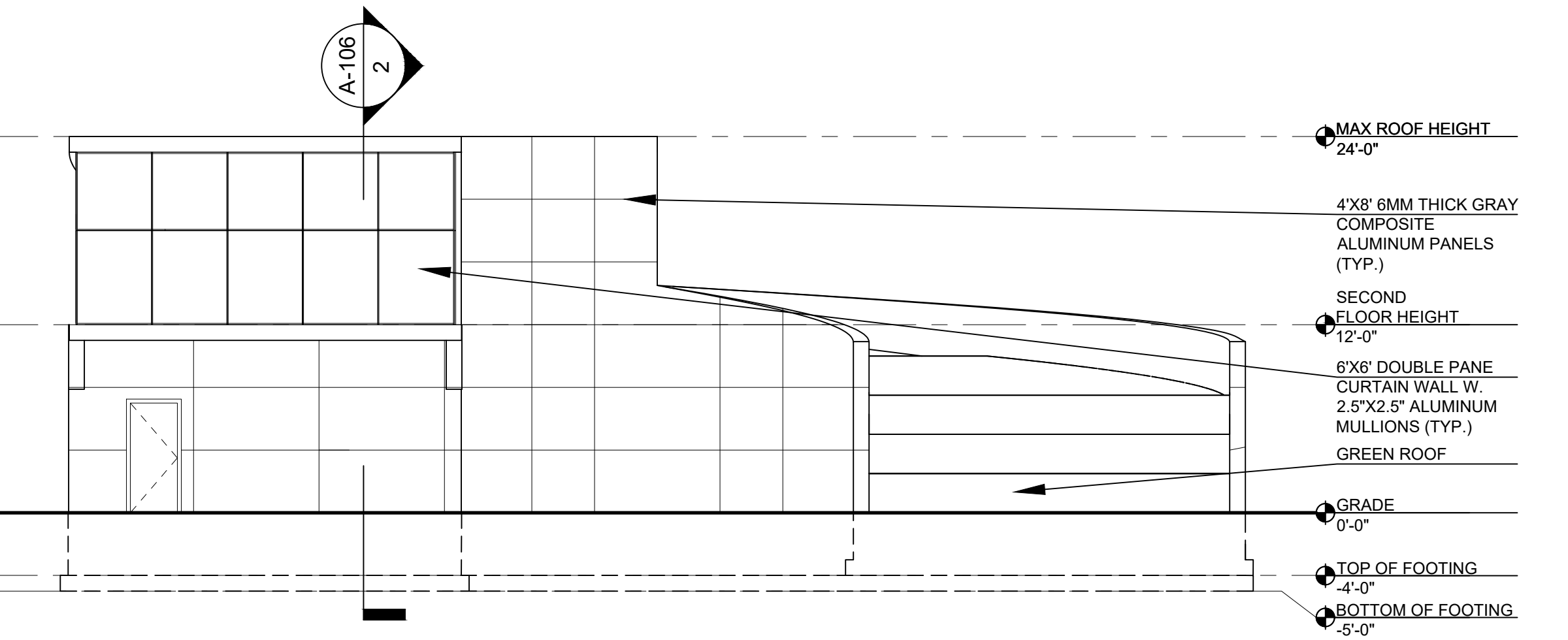
A-107



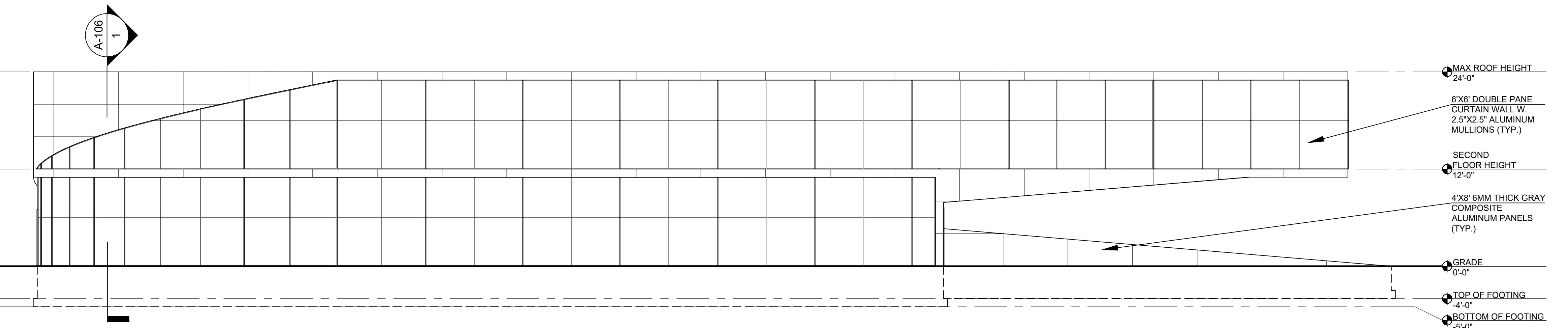
1 NORTH/FRONT ELEVATION
SCALE: 1/8" = 1'



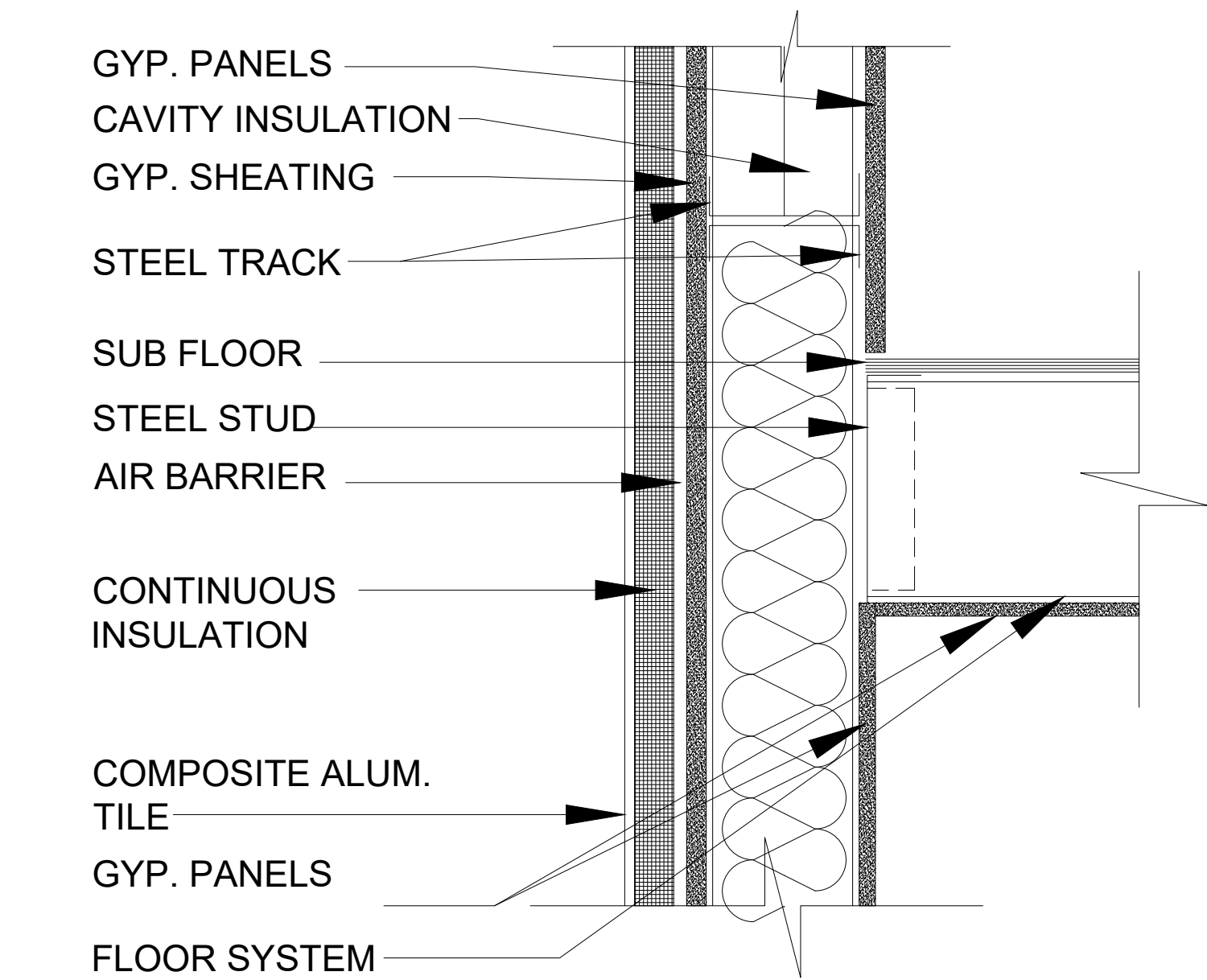
2 EAST/LEFT ELEVATION
SCALE: 1/8" = 1'



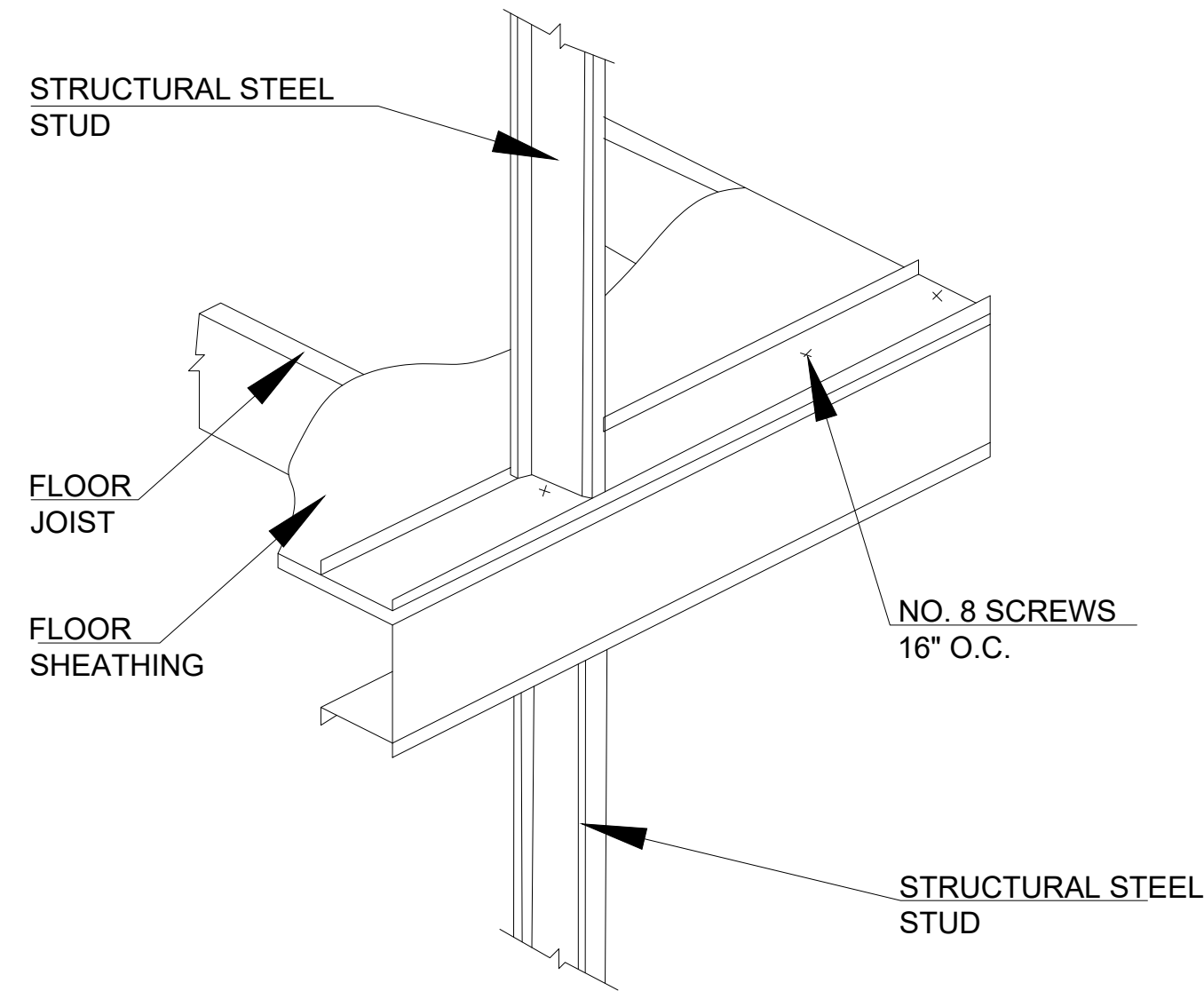
3 SOUTH/BACK ELEVATION
SCALE: 1/8" = 1'



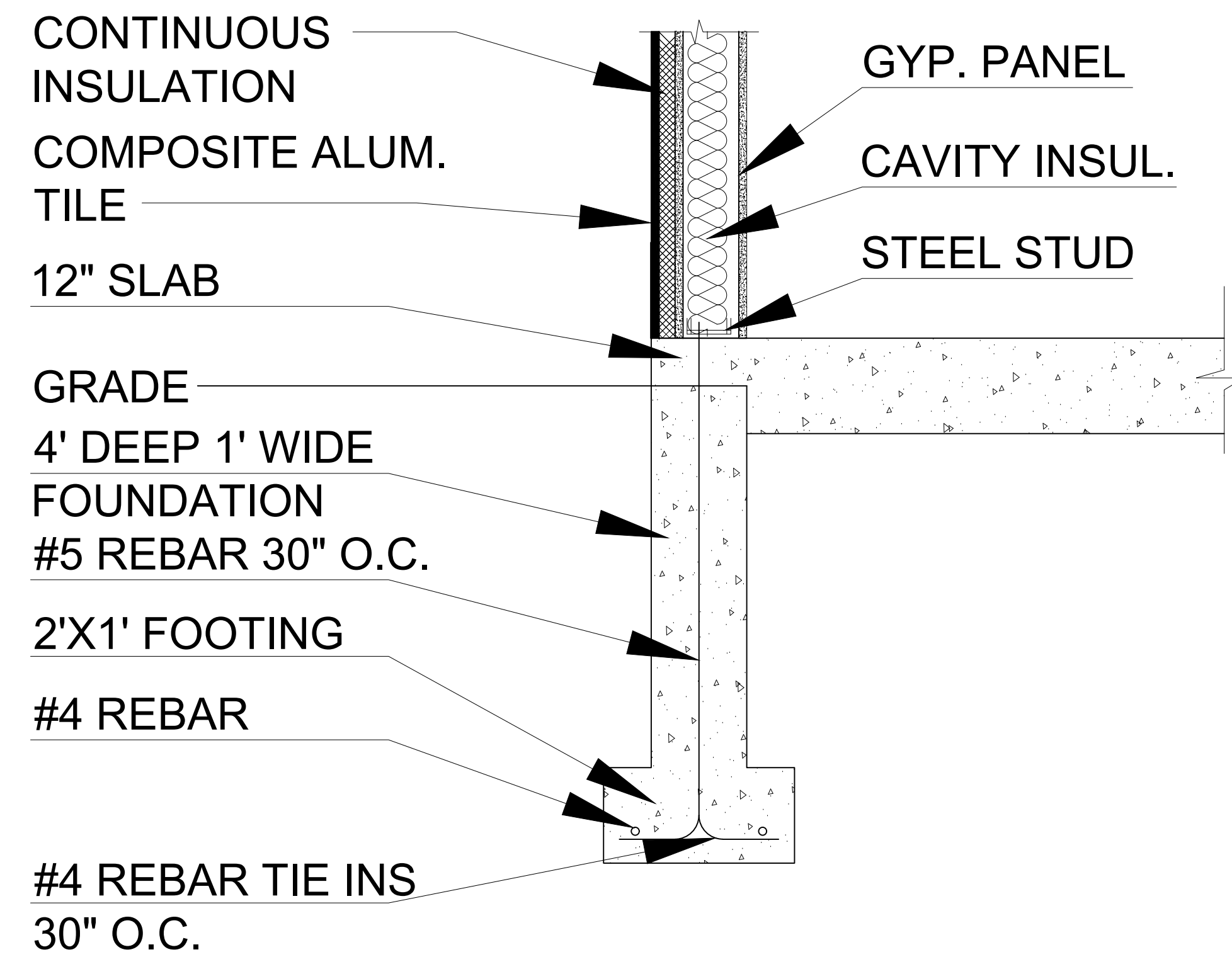
4 WEST/RIGHT ELEVATION
SCALE: 1/8" = 1'



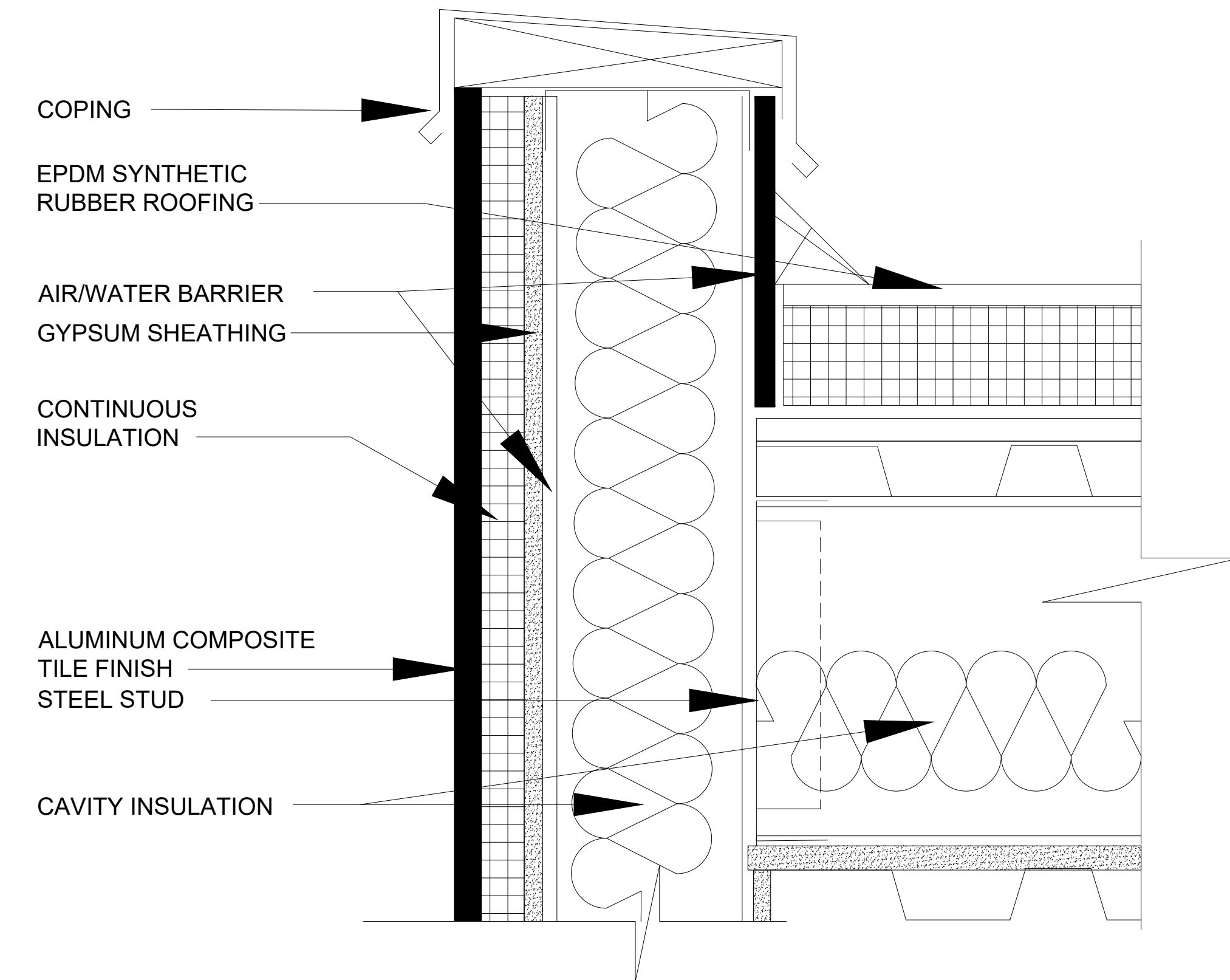
① EXAMPLE OF EXTERIOR WALL JUNCTION @ SECOND FLOOR
SCALE: N.T.S.



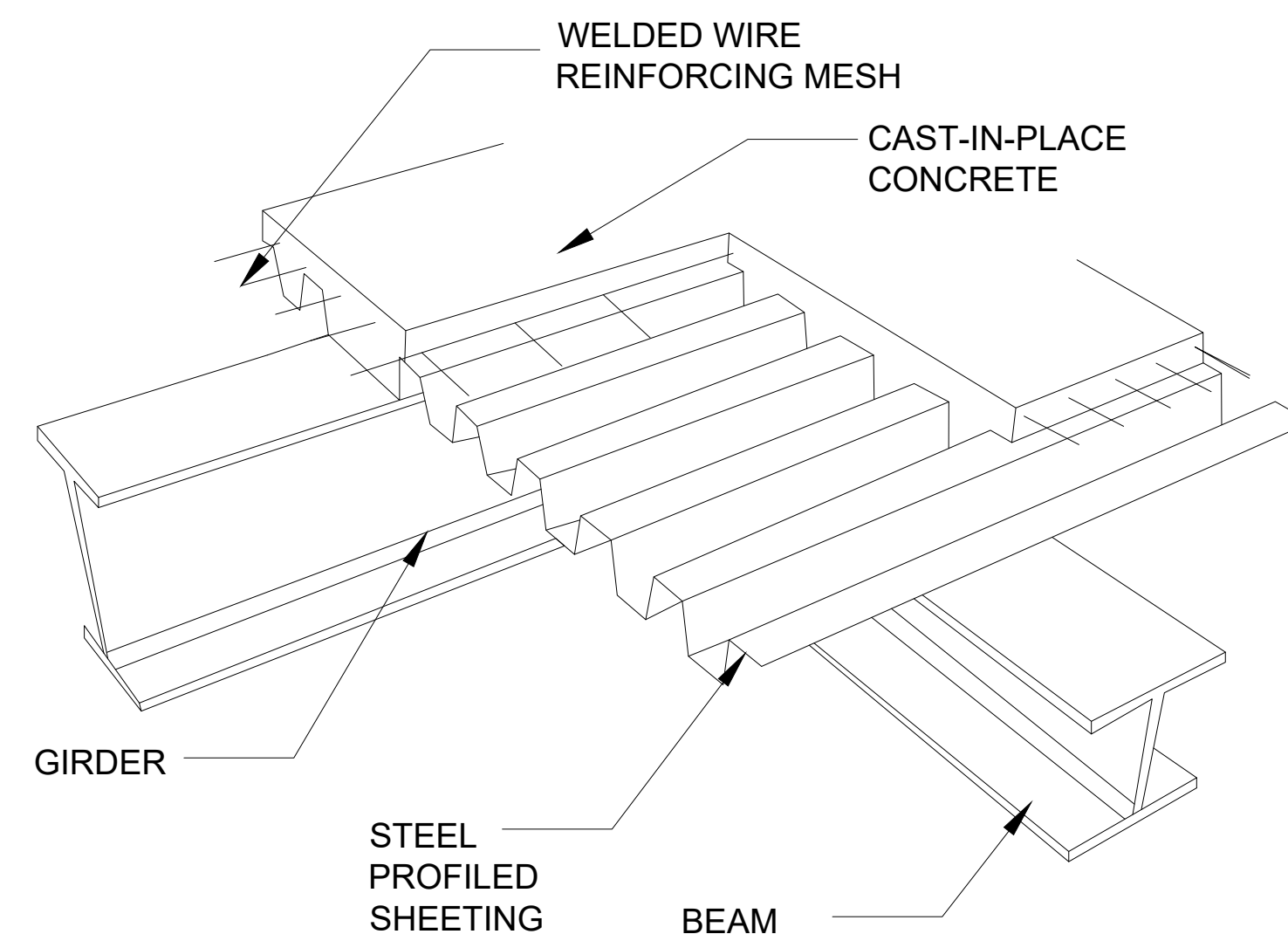
② EXAMPLE OF STEEL GAUGE WALL IN-BETWEEN FLOORS
SCALE: N.T.S.



③ EXAMPLE OF FOUNDATION & WALL JUNCTION
SCALE: N.T.S.



④ EXAMPLE OF EXTERIOR WALL JUNCTION @ ROOF
SCALE: N.T.S.



⑤ FIRST FLOOR CEILING DETAIL
SCALE: N.T.S.



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DETAILS

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