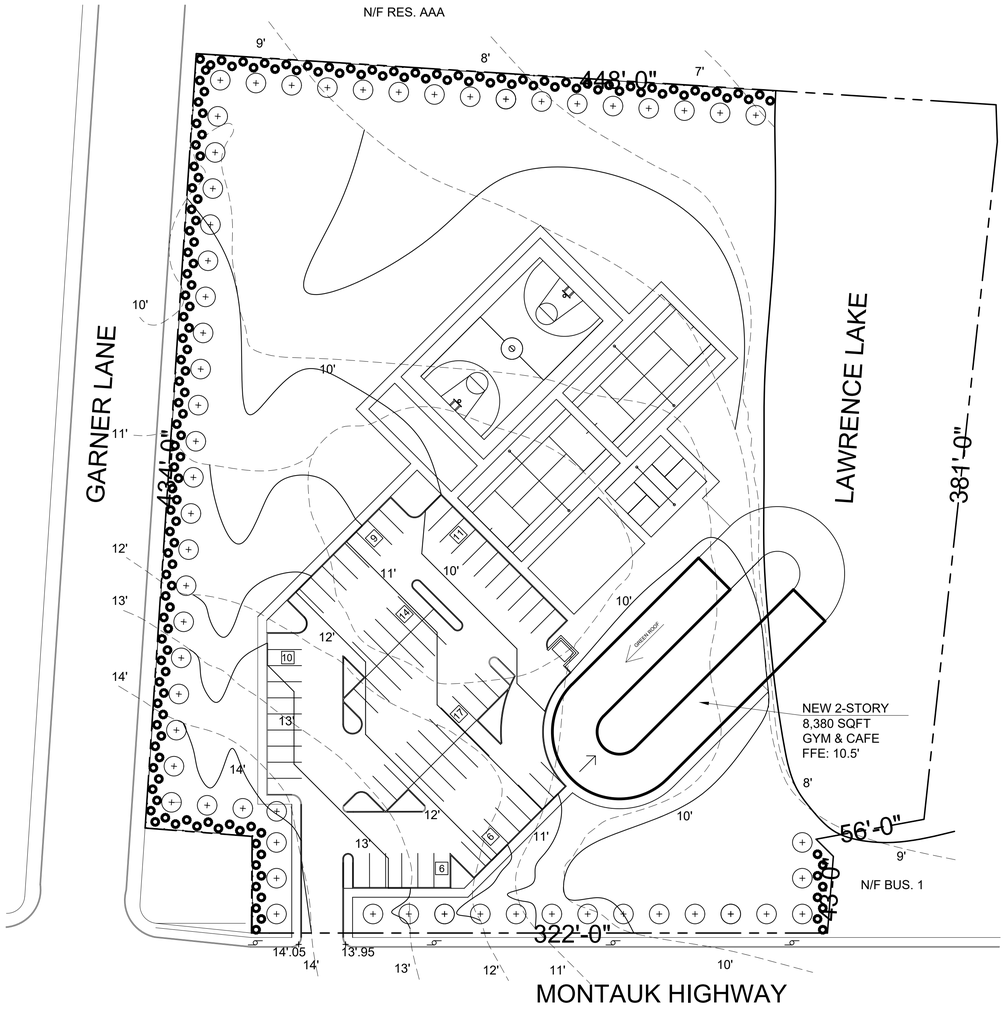
FITNESS CENTER AND CANOE CLUB

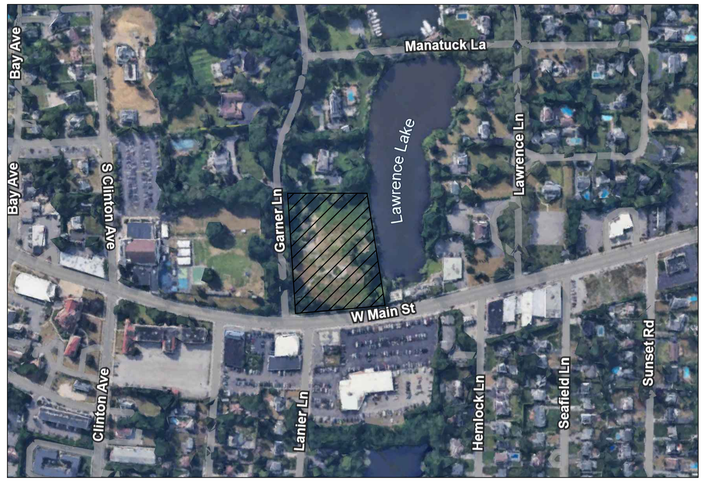
LOCATION: 2 GARNER LANE, BAY SHORE, NY

THE TOWN OF ISLIP HAS REQUESTED THAT A NEW SUSTAINABLE AND INNOVATIVE GYM/CANOE CLUB BE DESIGNED FOR ITS RESIDENTS AND THE SURROUNDING AREA. THE SITE MUST ALSO INCLUDE A CAFE ATTACHED TO A GREEN ROOF AND INCORPORATE A MINIMUM OF THREE SUSTAINABLE FEATURES. LOCATED ON A LAKE IT IS INTEGRAL THAT THE DESIGN EITHER INCORPORATES IT OR IS SITE SPECIFIC. THE PROJECT IS TO FOLLOW THE TOWN OF ISLIP ZONING CODES AND REGULATIONS ALONG WITH THE TYPICAL ADA REQUIREMENTS.

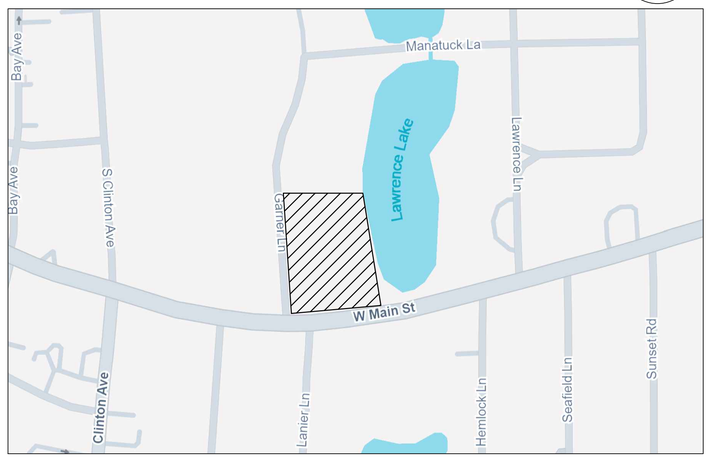


1 SITE PLAN
SCALE: 1" = 40'

20' 40' 60' 80'



2 SITE AERIAL
SCALE: N.T.S.



3 LOCATION MAP
SCALE: N.T.S.

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FARMINGDALE STATE
COLLEGE DEPARTMENT OF
ARCHITECTURE AND
CONSTRUCTION
MANAGEMENT

PODDO
DESIGNERS

2 GARNER LANE
SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

COVER SHEET

C-100

Town of Islip
Geographic Table Design Requirements
For Commercial and Residential Permits
2020 NYS Uniform Code

The Town of Islip is within a hurricane prone region, Climate Zone 4a.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Born Debris Zone		Weathering	Frost Line Depth	Termite					
20	130 Vult	no	no	1 Mile from Coast and Fire Island	B	Severe	BOF 3 FT BFG	Mod To Heavy	See Below	Yes	Call the Plans Examiners Office	599	51° F

MANUAL J CRITERIA REQUIRED IN SUBMITTED CALCULATIONS							
ELEVATION	LAT	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMP	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
108 FT	41° N	15° F	86° F	1.00	70° F	75° F	55° F
Cooling Temperature Difference	Wind Velocity Heating		Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity
11° F	15 MPH		7.5 MPH	72° F	Medium (M)	40%	32 GR @50% RH

IBC CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Born Debris Zone		Weathering	Frost Line Depth	Termite					
20	130 Vult	No	No	1 Mile from Coast and Fire Island	B	Severe	BOF 3 FT BFG	Mod To Heavy	See Below	Yes	Call the Plans Examiners Office	599	51° F

Winter Design Temp:
- Interior spaces intended for human occupancy shall be provided with an indoor temperature of not less than 68° F at a point 3 feet above the floor on the design heating day
- System design shall be based on max 72° F heating, minimum 75° F cooling
- Degree days (NY LaGuardia) 4811, Winter Design Temp 15° F, Dry Bulb 89° F, Wet Bulb 75° F (2020 IPC Appendix D)
- As per NYSBC 2020 Chapter 16 section 1609 and ASCE 7 2016, wind exposure category and surface roughness is B
- Use C for both South Shore and Fire Island

GENERAL NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS
2. DO NOT SCALE DRAWINGS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION STRINGS SHALL BE OBTAINED FROM THE ARCHITECT
3. DIMENSIONS SHOWN ARE BASED OFF OF TOWN OF ISLIP TAX MAPS AND ARE BELIEVED EXISTING CONDITIONS
4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS, FRAMING MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION). IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
5. CONTRACTOR SHALL PAY ALL PERMIT FEES.
6. CONTRACTOR SHALL MAINTAIN THE IMMEDIATE CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.
7. PROTECTION: CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
8. REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY NEW WORK TO ITS ORIGINAL CONDITION
9. ALL WORK IS TO COMPLY WITH THE TOWN OF ISLIP 2025 CODES
10. 811 MUST BE CALLED BEFORE ANY DIGGING IS TO BEGIN AS SO NO UNKNOWN BELOW GRADE HAZARDS ARE DISCOVERED
11. THESE PLANS SHALL NOT BE CHANGED UNLESS ARCHITECT AND THE TOWN OF ISLIP IS NOTIFIED
12. SITE SHALL BE DEEMED ENTIRELY ADA ACCESSIBLE
13. ALL CONCRETE WORK IS TO MEET AND EXCEED STATE REQUIREMENTS IN STRENGTH
14. CONTRACTORS ARE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMITS
15. ALL DAMAGE TO SURROUNDING PUBLIC AND PRIVATE INFRASTRUCTURE SHALL BE REPAID SOLELY BY THE CONTRACTOR
16. PARKING PLAN IS TO TOWN OF ISLIP ZONING CODE AND NO ALTERATIONS SHALL BE MADE WITHOUT NOTIFICATION OF BOTH ARCHITECT AND THE TOWN.
17. PROPER ADA SIGNAGE AND MARKINGS SHALL INDICATE ADA PARKINGS SPACES, RAMPS, SIDEWALKS, ENTRANCES, ETC...
18. ON SITE AND NEAR WATER ESPECIALLY, EROSION AND SETLEMNT CONTROL MEASURES SHALL BE APPLIED
19. STORM WATER INFRUSTRCURE SHALL APPLY TO ENTIRE SITE
20. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AS OFTEN AS POSSIBLE
21. ACCESS TO THE PUBLIC SHALL BE PROHIBITED WITHOUT NOTIFYING THE CORRECT AUTHORITIES
22. SITE SECURITY MUST BE MAINTAINED AND ANY DAMAGES, VANDALIZATION, STOLEN OBJECTS, ETC... ARE TO BE COVERED ENTIRELY BY CONTRACTOR
23. UTILITY COORDINATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR
24. ALL FEDERAL, STATE, LOCAL, AND ASSOCIATED CODES SHALL BE FOLLOWED ACCORDINGLY AND ANY UNCERTAINTY IN THE DETERMINATION OF THESE CODES SHALL BE DIRECTED TO THE ASSOCIATED BRANCH, AND ARCHITECT
25. THE ARCHITECT SHALL NOT BE DEEMED LIABLE FOR ANY ISSUES THAT ARISE FROM DRAWINGS NOT FOLLOWED, OR IMPROPER JUDGMENT FROM SELECTED CONTRACTORS

OWNER
TOWN OF ISLIP
(631) 224-5300
TOWNCLERK@ISLIP.GOV

CONTRACTOR
UNKNOWN
UNKNOWN
UNKNOWN

ARCHITECT
PHILIP ODDO
(631)-572-2036
ODDOP@FARMINGDALE.EDU

DRAWING INDEX

LEGEND

PROPERTY LINE

COMPASS

SCALE 20' 40' 60' 80'

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FARMINGDALE STATE
COLLEGE DEPARTMENT OF
ARCHITECTURE AND
CONSTRUCTION
MANAGEMENT

PODDO DESIGNERS

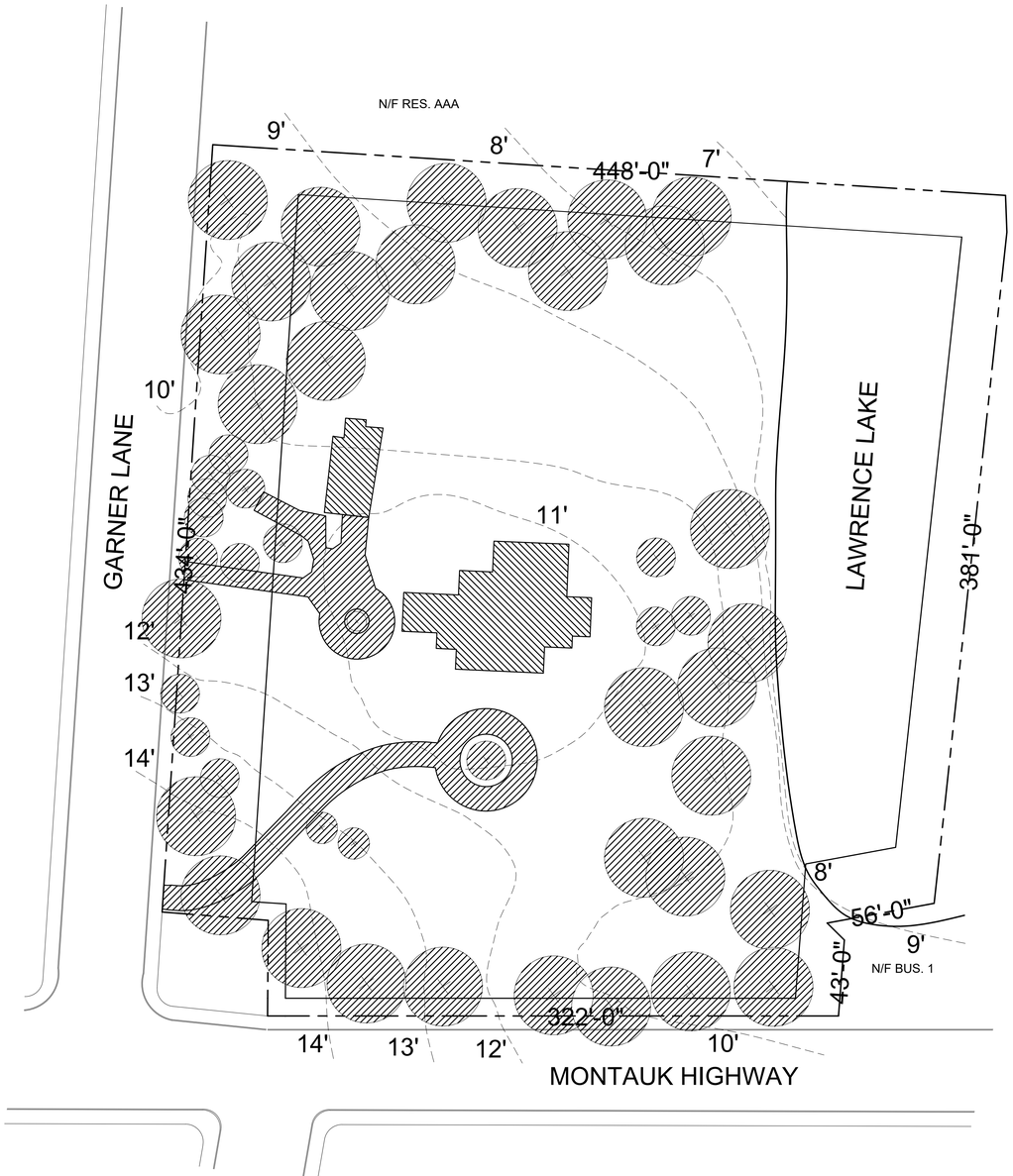
2 GARNER LANE

SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

SHEET TITLE

C-101



1 DEMOLITION PLAN
SCALE: 1" = 40'

2 SITE AERIAL
SCALE: N.T.S.

NOTE: REMOVE ALL STRUCTURES, INC. FOUNDATIONS, PAVEMENTS, AND TREES

NOTE: CLEAR AND GRUB SITE

DEMOLITION LEGEND

PAVEMENT/DRIVE TO BE REMOVED

FOUNDATION TO BE REMOVED

TREE TO BE REMOVED

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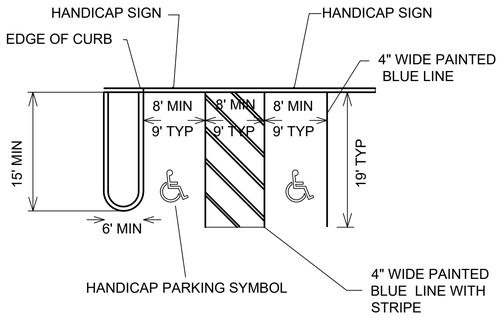
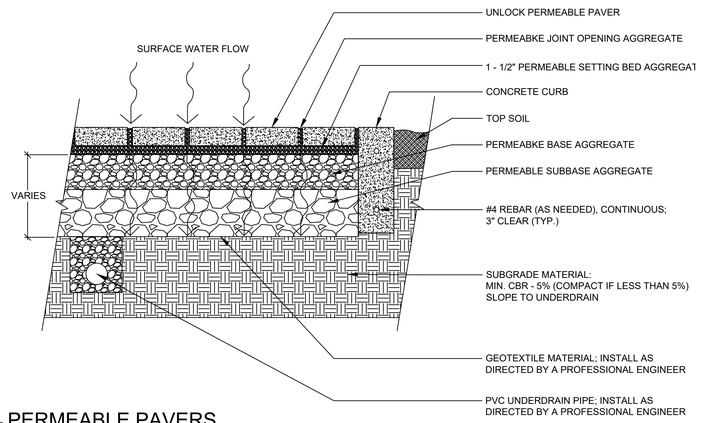
DEMOLITION PLAN

C-102

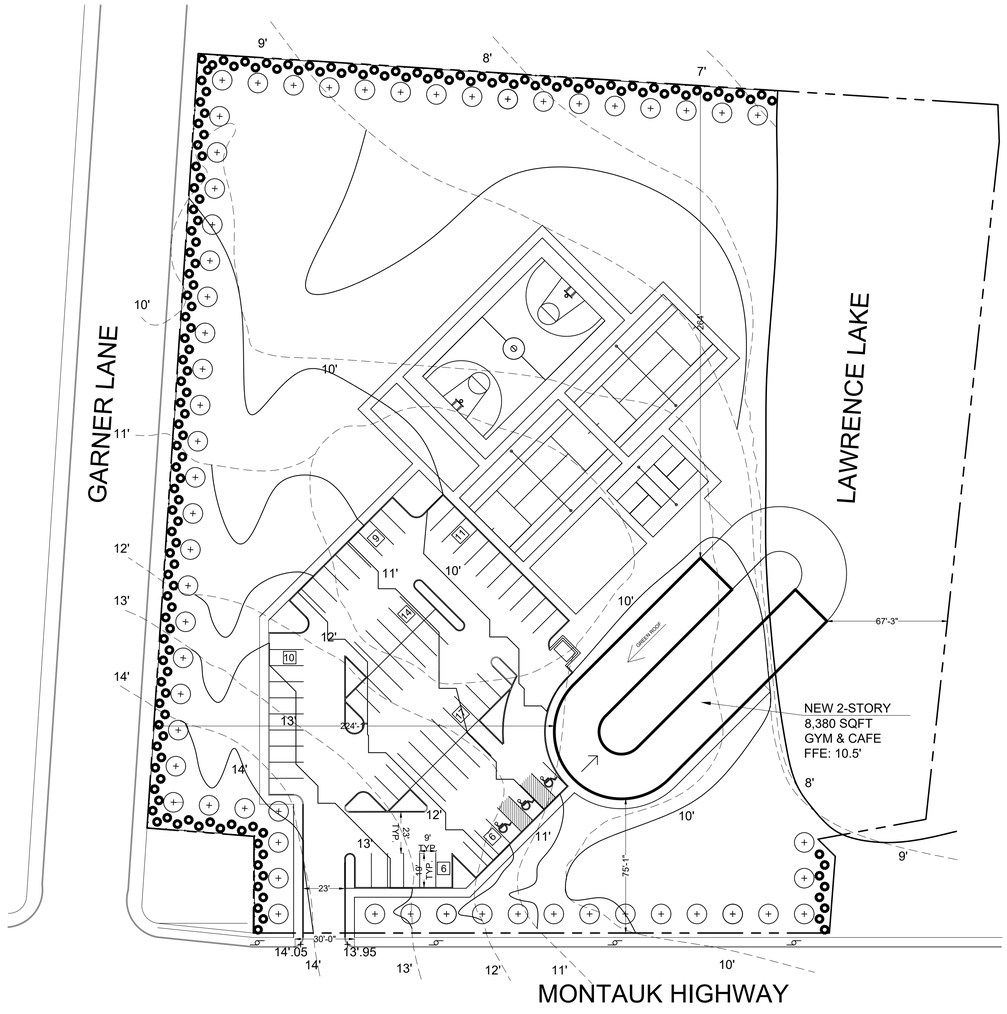


ACCESS & LOADING AREAS
A. 2" N.Y.S. TYPE 6F WEARING COURSE
B. 4" N.Y.S. TYPE 3 DENSE BINDER
C. 6" N.Y.S. 45-RCA BASE COURSE

② ACCESSIBLE PARKING STRIP
SCALE: N.T.S.



③ PERMEABLE PAVERS
SCALE: N.T.S.



① PROPOSED SITE PLAN
SCALE: 1" = 40'

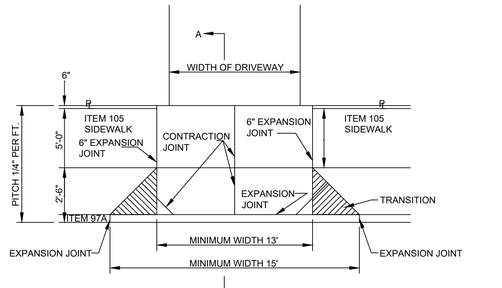
STANDARD PARKING
A. 1/2" N.Y.S. TYPE 6F WEARING COURSE
B. 2" N.Y.S. TYPE 3 DENSE BINDER
C. 6" N.Y.S. 45-RCA BASE COURSE

ACCESS & LOADING AREAS
A. 2" N.Y.S. TYPE 6F WEARING COURSE
B. 4" N.Y.S. TYPE 3 DENSE BINDER
C. 6" N.Y.S. 45-RCA BASE COURSE

COMMERCIAL PARKING FIELD

1. ALL CONCRETE TO BE 4000 P.S.I
2. FOR LOCATION OF CURB FROM PL SEE STD. RD. SEC.
3. STEEL FORMS OR EQUAL SHALL BE USED.
4. EXPANSION JOINTS 1/2" THICK 20' O.C. SHALL BE USED. EXPANSION JOINT IN SIDEWALK SHALL ALIGN WITH EXPANSION JOINT IN CURB
5. ALL CONCRETE SHALL BE TAMPED IN PLACE. NO HONEYCOMB WILL BE ALLOWED. FINISH SHALL BE SMOOTH AND EVEN RUBBED WITH A WOOD FLOAT.
6. ALL EDGES SHALL BE TOOL ROUNDED.
7. CERTIFICATION REQUIRED FROM MANUFACTURER OF RECYCLED CONCRETE.
8. TRUCK TRAVELED AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INDUSTRIAL ROAD SPECIFICATION.
9. CYLINDER TESTING AS REQUIRED PER TOWN ENGINEER
10. EXPANSION JOINTS IN CURBS SHALL ALIGN WITH SIDEWALK EXPANSION JOINTS
11. ALL THICKNESS STATED ARE MINIMUM THICKNESS
12. FIELD COMPACTION OF ASPHALT SHALL BE 95% OF DESIGN DENSITY A LABORATORY SPECIMEN MADE IN THE PROPORTIONS OF THE JOB MIX FORMULA FOR EACH CLASS MIX COMPACTED BY 75 BLOWS ON EACH FACE OF A 1/2" THICK SPECIMEN BY A STANDARD MARSHALL HAMMER SHALL BE AS THE STANDARD FOR DENSITY COMPARISON.

④ COMMERCIAL PARKING FIELD
SCALE: N.T.S.



⑤ CONCRETE DRIVE APRON
SCALE: N.T.S.

ZONING DATA

ZONE: BUSINESS 1 DISTRICT

GYM & CAFE: PERMITTED USE

OWNER/ APPLICANT INFO.

APPLICANT: 2 GARNER LANE, BAYSHORE, NY

OWNER: N.A.

BULK REQUIREMENT

REQUIREMENT	ZONE: BUSINESS DISTRICT 1	PROPOSED
MIN. LOT AREA	7,500 SQFT	209,088SQFT
MIN. FRONT YARD	10'-0"	75'-1"
MIN. SIDE YARD	10'/20' BOTH	67'-3"
MIN. REAR YARD	10'-0"	264'-0"
MAX. BLDG. HEIGHT	35'-0"	24'-0"
MAX. F.A.R.	0.4	0.05
MIN. TOTAL LANDSCAPE AREA	20%	67%
MIN. LANDSCAPE AREA FRONT YARD	10%	63%

PARKING REQUIREMENTS

MIN. STALL SIZE: 9' X 19' REQ.	9' X 19' PROPOSED
MIN. AISLE WIDTH: SIZE 23' REQ.	23' PROPOSED

PARKING CALCULATIONS:
GYM: 1 STALL / 200 SF OF GFA
REQUIRED: 6580 / 200 = 33 STALLS
PROVIDED: = 33 STALLS
CAFE: 1 STALL / 100 SF OF GFA
REQUIRED: 1800 / 100 = 18 STALLS
PROVIDED: = 18 STALLS
COURTS: 1 STALL/ PLAYER:
BASKETBALL: 1 X 10 = 10 STALLS
PICKLEBALL: 1 X8 = 8 STALLS
TENNIS: 1 X 4 = 4 STALLS
TOTAL: = 73 STALLS INC. (3) ADA STALLS

NOTE: ALL WALKWAYS TO BE PERMEABLE PAVERS

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PODDO DESIGNERS

2 GARNER LANE

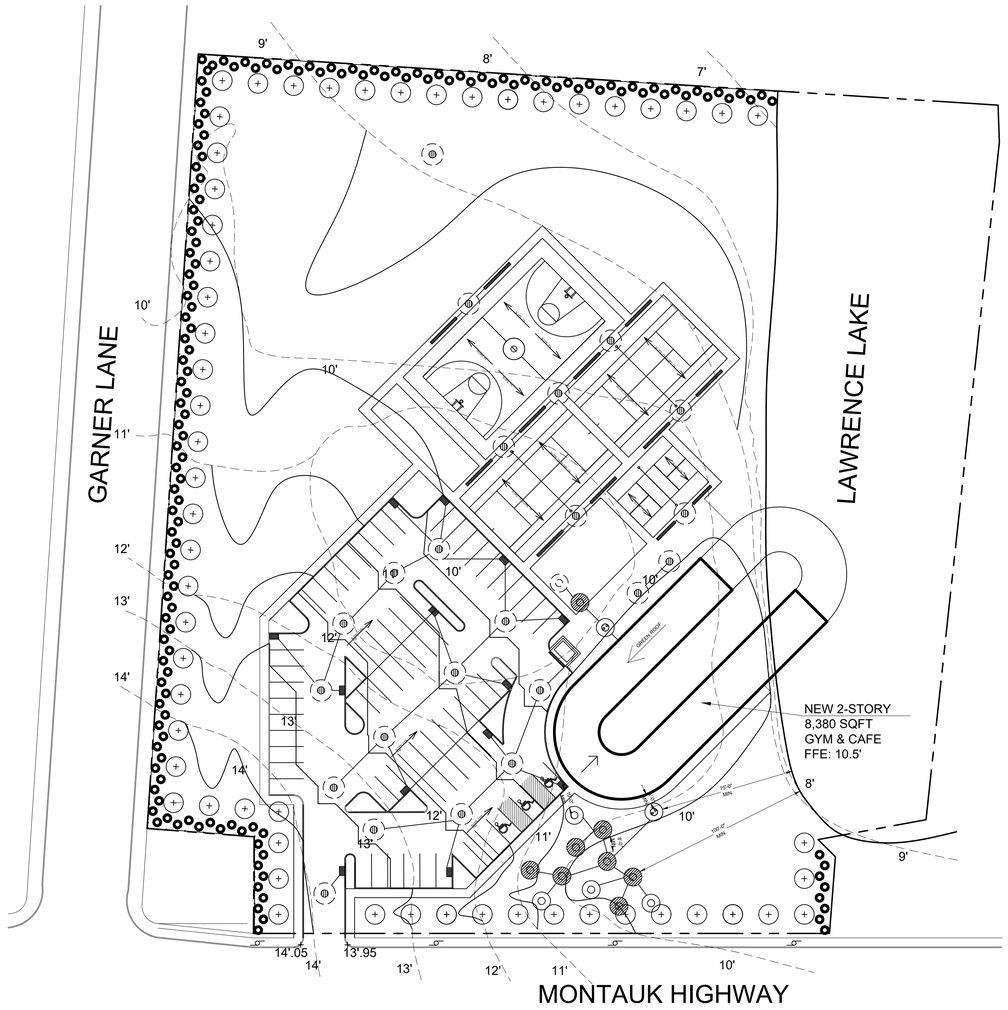
SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

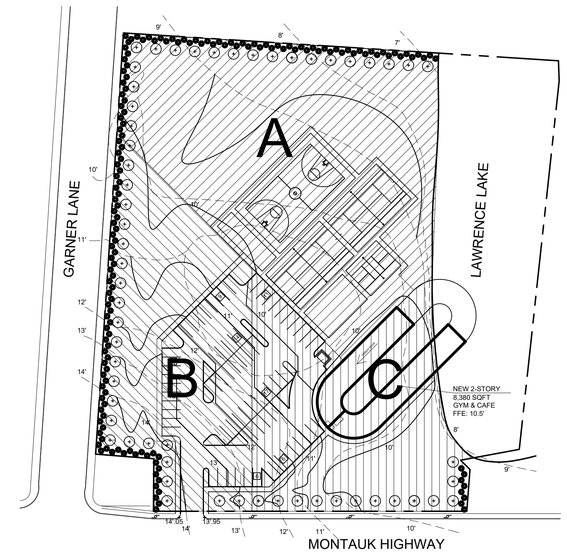
PROPOSED SITE PLAN

C-103

AREA	SURFACE MATERIAL	C	i	TRIBUTARY AREA (SF)	Q STORAGE REQ'D (CF)	TOTAL STORAGE RECQ'D (CF)	TOTAL DEPTH OF 12' DIA. LP REQ'D (VF)	QTY OF 7'H 12' DIA. LP PROPOSED	QTY OF 7'H 12' DIA LPS PROPOSED-ROUNDED-UP
	PAVEMENT	1	0.17	20923	3556.91				
	LANDSCAE	0.3	0.17	55305	2820.56				
A	ROOF	1	0.17	0	0.00	6377.47	63.25	9.04	10
	PAVEMENT	1	0.17	17626	2996.42				
	LANDSCAPE	0.3	0.17	29218	1490.12				
B	ROOF	1	0.17	0	0.00	4486.54	44.50	6.36	7
	PAVEMENT	1	0.17	13362	2271.54				
	LANDSCAPE	0.3	0.17	23162	1181.26				
C	ROOF	1	0.17	3320	564.40	4017.20	39.84	5.69	6
		TOTAL AREA=		162916					



1 GRADING DRAINAGE & SEPTIC
SCALE: 1" = 40'



2 TRIBUTARY AREA MAP
SCALE: N.T.S.

SEPTIC REQUIREMENTS

GPD CALCULATIONS:
ALLOWABLE: 3.74 ACRES (600GPD) = 2,244 GPD
CAFE ALLOWABLE: 1,800SQFT (0.15GPD) = 270 GPD
GYM ALLOWABLE: 6,580SQFT (0.3GPD) = 1,974GPD
GYM SEPTIC TANK CALC.: 1,974 / (6'x500GPF) = 0.658 ST
GYM SEPTIC TANK ACTUAL: 1 10' DIA. SEPTIC TANK
CAFE SEPTIC TANK CALC.: 900GPD / (6'x500GPF) = 0.3 ST
CAFE SEPTIC TANK ACTUAL: 1 10' DIA. SEPTIC TANK
GYM SEPTIC LEACHING POOL CALCULATIONS:
GYM REQUIREMENTS: 1,974GPD/1.5 = 1,316
1,316/31.42= 41.88VF
EFFECTIVE DEPTH: 6'
41.88VF/ 6' = 7 SEPTIC LEACHING POOLS
GYM ACTUAL: 7 (1.5)= **11 SEPTIC LEACHING POOLS**
CAFE SEPTIC LEACHING POOL CALCULATIONS:
CAFE REQUIREMENTS: 270GPD/1.5 = 180
180/31.42VF = 5.73VF
EFFECTIVE DEPTH: 6'
5.73VF/6' = 1 SEPTIC LEACHING POOLS
CAFE ACTUAL: 1 (1.5) = **2 SEPTIC LEACHING POOLS**

GDS LEGEND

- UNDERGROUND PIPE
- GRATED LEACHING POOL
- SEPTIC LEACHING POOL
- SEPTIC LEACHING POOL EXPANSION
- SEPTIC TANK
- DRAINAGE POOL

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FARMINGDALE STATE COLLEGE DEPARTMENT OF ARCHITECTURE AND CONSTRUCTION MANAGEMENT

PODDO DESIGNERS

2 GARNER LANE

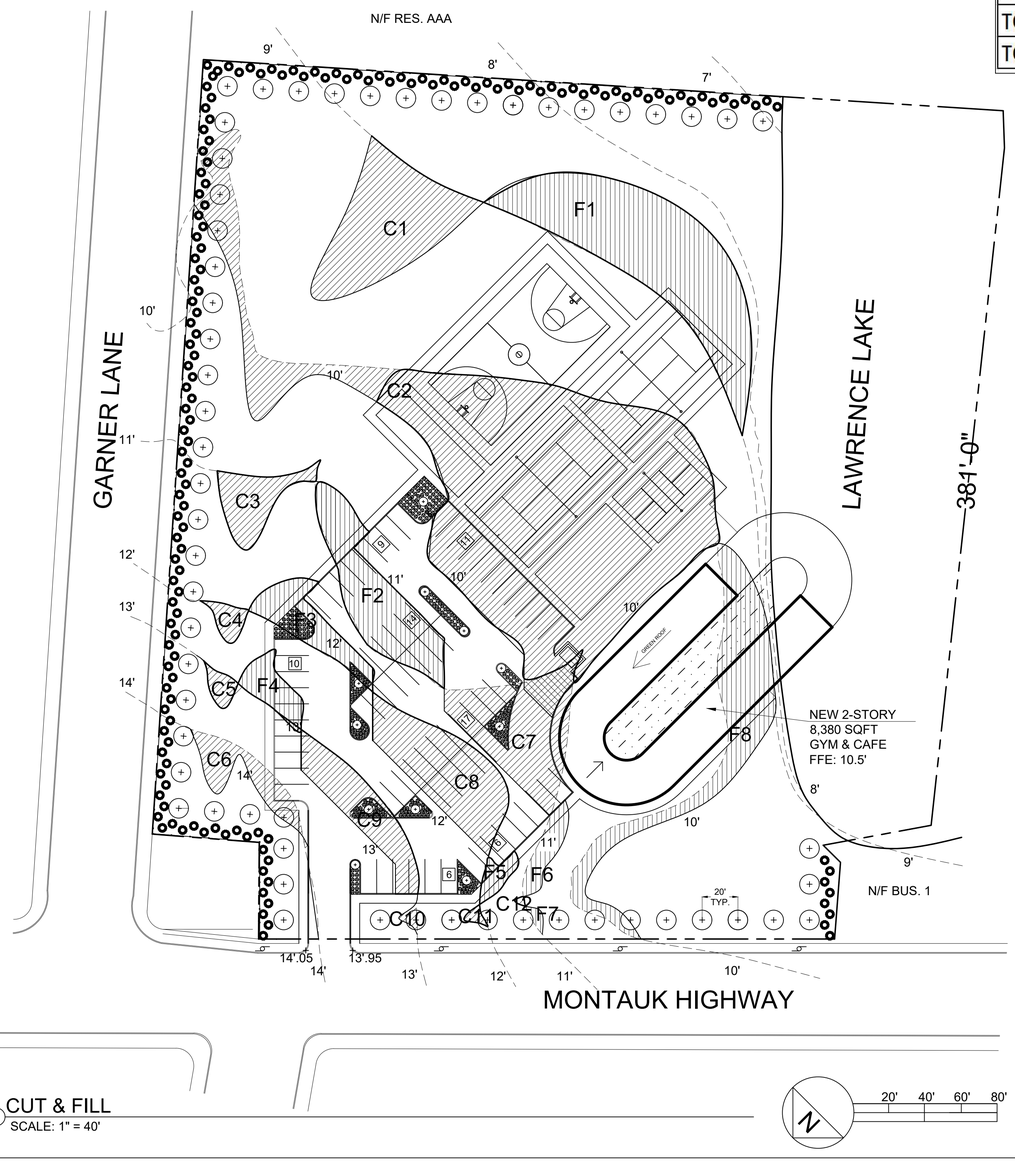
SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

GRADING DRAINAGE & SEPTIC

C-104

CUT			FILL	
CUT#	CUT AREA FT CUBED		FILL#	FILL AREA FT CUBED
C1	4060		F1	6796
C2	23410		F2	2983
C3	1167		F3	1403
C4	302		F4	702
C5	242		F5	288
C6	1036		F6	539
C7	3349		F7	69
C8	3002		F8	3904
C9	1800		TOTAL FILL CF	16684
C10	80		TOTAL FILL CY (CF/27)	617.93
C11	83			
C12	23			
TOTAL CUT CF	38554		EXCESS CUT (CUT-FILL)	810
TOTAL CUT CY (CF/27)	1427.93			



1 CUT & FILL
SCALE: 1" = 40'

20' 40' 60' 80'

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PODDO
DESIGNERS

2 GARNER LANE

SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

CUT & FILL

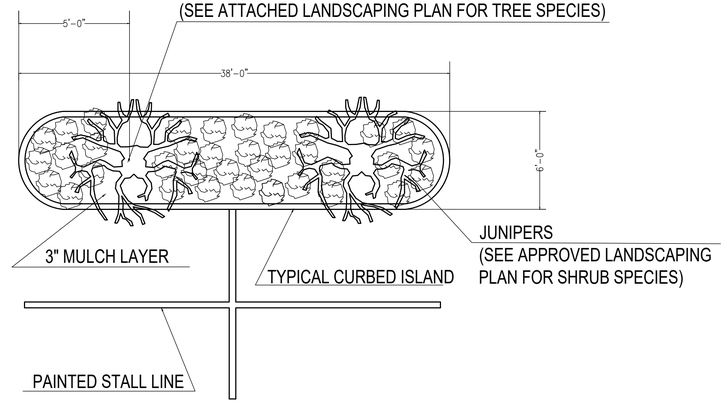
C-105

LANDSCAPE SCHEDULE

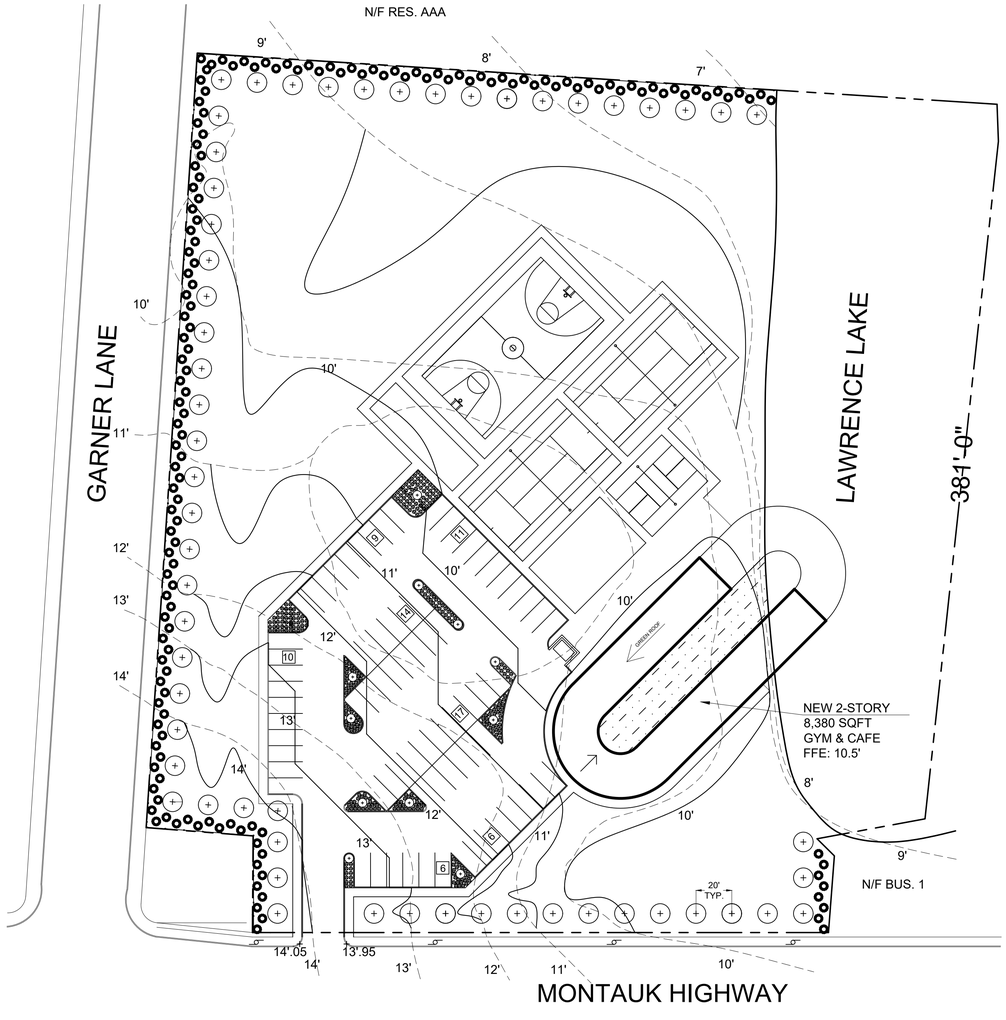
BOTANICAL NAME	COMMON NAME	SIZE	QTY
QUERCUS RUBRA	RED OAK	2 1/2" CAL.	57
PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6'-0" HT.	152
ACER BUERGERIANUM	TRIDENT MAPLE	2 1/2" CAL.	12
JUNIPERUS COMMUNIS	JUNIPER	3'-6" HT.	293

LANDACAPE LENGEND

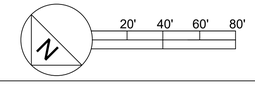
BIOTOPE



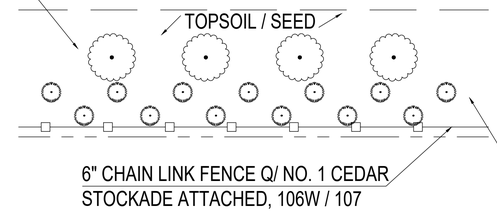
2 TYPICAL PLANTING ISLAND
SCALE: N.T.S.



1 LANDSCAPE PLAN
SCALE: 1" = 40'

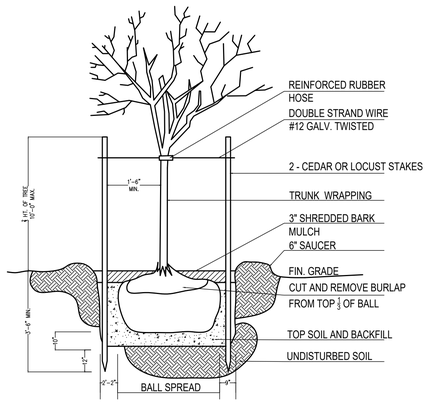


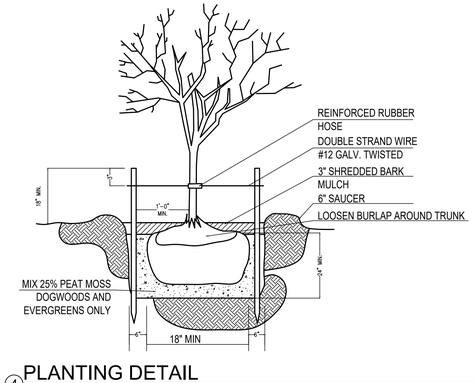
DECIDUOUS TREES, 2 1/2" CAL., 20' O.C. RED OAK, PIN OAK, POST OAK, MAPLE VARIETIES, LITTLE LEAF LINDENS, LONDON PLANE TREES, ARISTOCRAT AND BRADFORD PEARS, THORNLESS HONEY LOCUST ETC. SUBSTITUTIONS AND ALTERNATES MAY BE ACCEPTED



DOUBLE ROW OF 6' EVERGREENS, PLACED IN A SAWTOOTHED PATTERN, 5' - 7' SPACING. MIX OF; ARBORVITAE, JUNIPERS, LEYLAND CYPRESS, DOUGLAS FIR, HOLLY, SPRUCE, WHITE PINES ETC. SUBSTITUTIONS AND ALTERNATES MAY BE ACCEPTED FOR REVIEW AND APPROVAL.

3 BUFFER SCREEN PLANTING
SCALE: N.T.S.





4 PLANTING DETAIL
SCALE: N.T.S.

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PODDO DESIGNERS

2 GARNER LANE

SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
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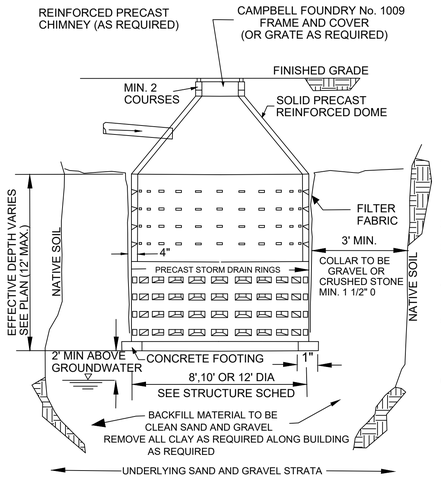
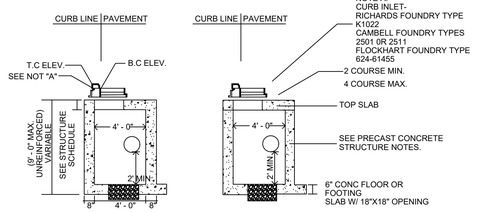
LANDSCAPE PLAN

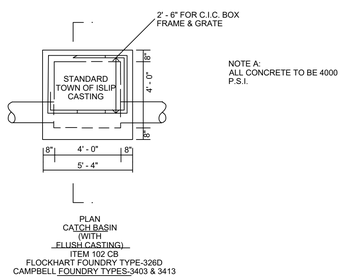
C-106



NOTES:
1. TYPE "1" POOL HEIGHT AND WIDTH OF SECTIONS AS REQUIRED. INCL. REINFORCED DOME, CONC. FOOTING AND MANHOLE COVER
2. MINIMUM OF 10' BETWEEN POOLS.
3. ALL POOLS UNDER PAVEMENT TO HAVE SURFACE ACCESS.
4. ALL OTHER LEACHING POOLS TO HAVE POSITIVE SURFACE ACCESS.
5. ANY DRAINAGE STRUCTURES INSTALLED WITHIN R.O.W. SHALL BE 10.0 MAX. AND SHALL INCORPORATE FOOTING RING
6. FILTER FABRIC REQUIRED

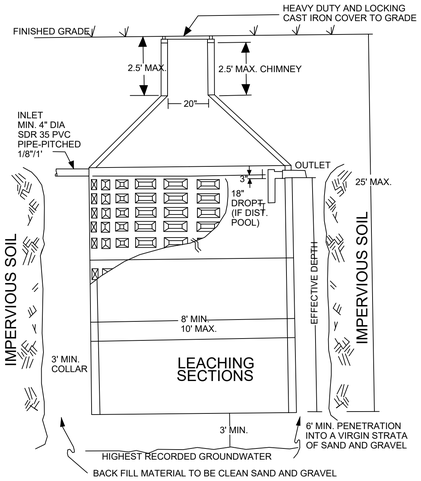
1 LEACHING BASIN
SCALE: N.T.S.



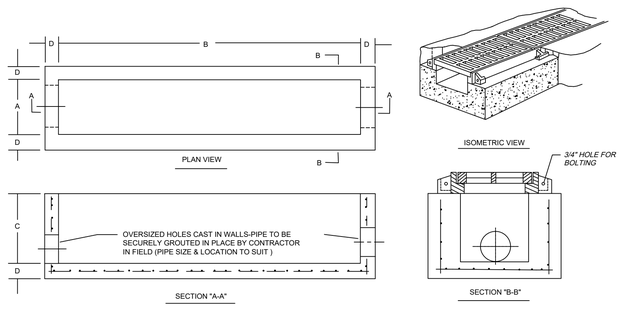


NOTE A:
ALL CONCRETE TO BE 4000 P.S.I.

5 CATCH BASIN
SCALE: N.T.S.



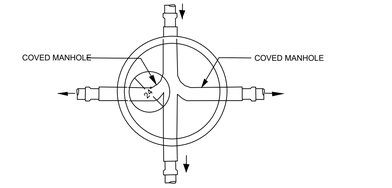
2 CONCRETE LEACHING POOL
SCALE: N.T.S.



NOTE :
** GALVANIZED STEEL GRATING ALSO AVAILABLE*
** CONCRETE TO TEST 4000 PSI @ 28 DAYS*
** REINFORCEMENT :*

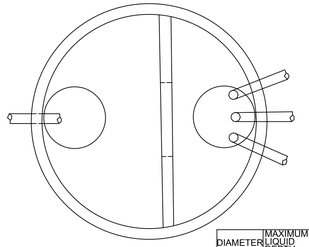
DIMENSION SCHEDULE
A = AS REQ.
B = AS REQ.
C = AS REQ.
D = AS REQ.

6 TRENCH DRAIN
SCALE: N.T.S.

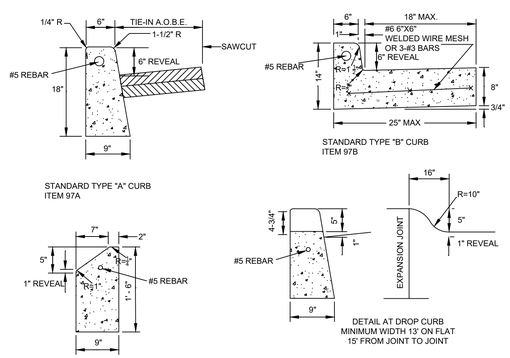


1. ALL MANHOLES SECTIONS SHALL CONFORM TO A.S.T.M. C-478, LATEST REVISION STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE M.H. SECTIONS.
2. MANHOLE RISER SECTION TO BE FURNISHED IN 1,2,3 OR 4' HEIGHTS, AS REQUIRED.
3. LOADING TO CONFORM TO AASHTO H-20 LOADING.
4. ALL CONCRETE IS TO MEET 4000 PSI AT 28 DAY SET.
5. ALL OUTLETS ARE TO BE SET AT THE SAME ELEVATION, 0.1' MINIMUM BELOW INLETS (S)

3 CONCRETE DISTRIBUTION MANHOLE
SCALE: N.T.S.

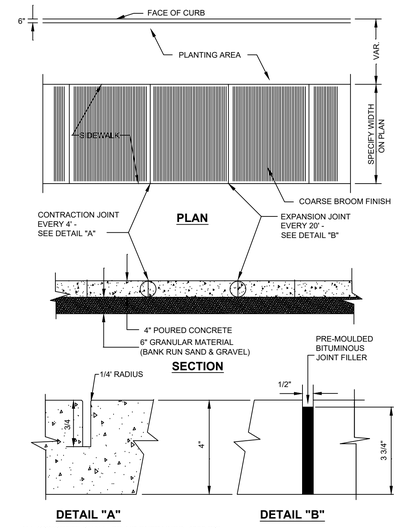


4 SINGLE UNIT CONCRETE SEPTIC TANK
SCALE: N.T.S.



NOTES:
1. ALL CONCRETE TO BE 4000 PSI AIR ENTRAINED.
2. FOR LOCATION OF CURB FROM PROPERTY LINE, SEE STANDARD ROAD SECTION.
3. STEEL FORMS OR EQUAL SHALL BE USED.
4. EXPANSION JOINTS 1/2" THICK 20' O.C. SHALL BE USED.
5. ALL CONCRETE SHALL BE TAMPED IN PLACE, NO HONEYCOMB WILL BE ALLOWED. FINISH SHALL BE SMOOTH AND EVEN - RUBBED WITH A WOOD FLOAT.
6. ALL EDGES SHALL BE TOOL ROUNDED.
7. CYLINDER TESTING AS REQUIRED PER TOWN ENGINEER.
8. ALL EXPANSION JOINTS SHALL BE PRE-CUT TO CURB PROFILE PRIOR TO INSTALLATION.
9. ALL CONCRETE CURBS SHALL UTILIZE A #5 REBAR

7 CONCRETE CURB ITEM
SCALE: N.T.S.



ALL CONCRETE SHALL BE AIR ENTRAINED, 4000 PSI CYLINDER TESTING AS REQUIRED PER TOWN ENGINEER

ALL SIDEWALKS PLACED WITHIN MUNICIPAL ROW SHALL BE 5' MIN. WIDTH

8 CONCRETE SIDEWALK
SCALE: N.T.S.

FARMINGDALE STATE COLLEGE DEPARTMENT OF ARCHITECTURE AND CONSTRUCTION MANAGEMENT

PODDO DESIGNERS

2 GARNER LANE
SITE PLAN

NAME: PHILIP ODDO
PROFESSOR: LOPICCOLO
CLASS: ARC 486
DATE: 12/16/25

DETAILS

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